

Title: Urban Place Map

Drawn By: Derek Malone
Address: brian connolly associates
Wood's Way, Clane
Co. Kildare.



O.S. sheet no. KE 3383-D

O.S.I. LICENCE NO.
EN 0008919

SCALE 1:1000

Barrin
Court

89.3

89.6

88.6

89.6

89.8

89.9

89.3

88.4

87.7

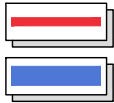
87.6

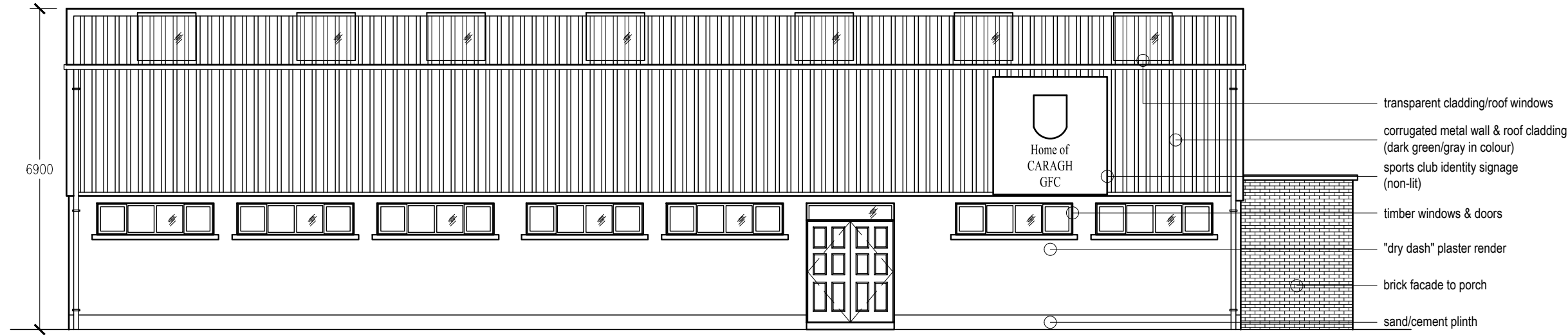
St Farnans Park
Caragh GA

LOCATION OF SITE

EXTENT OF SUBJECT SITE

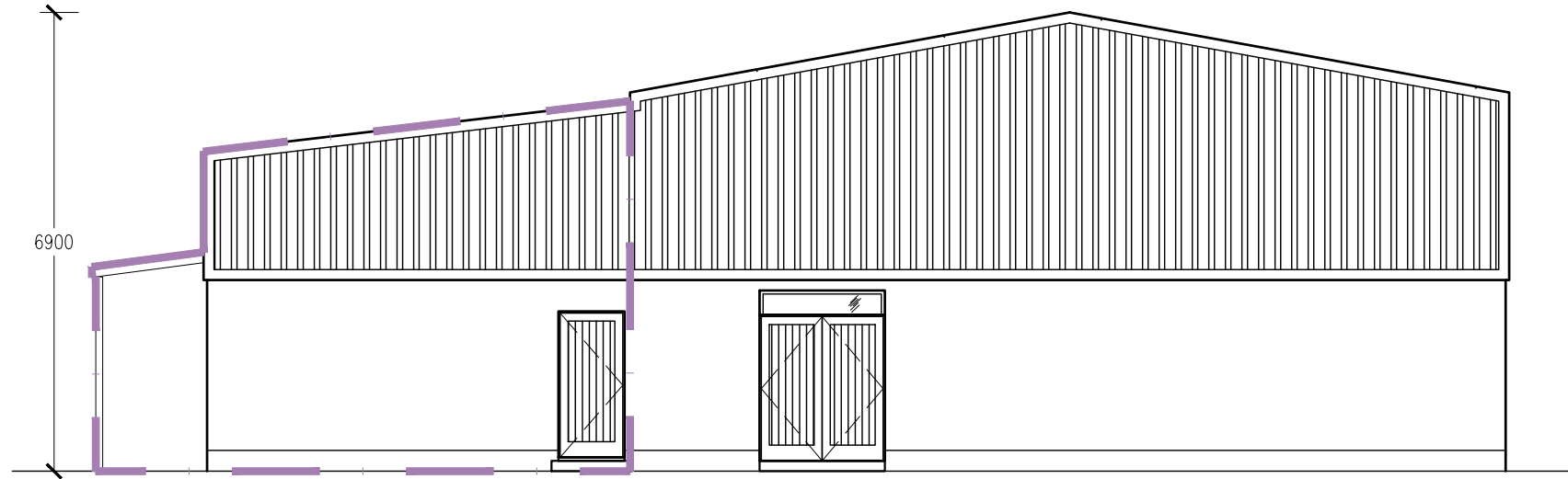
EXTENT OF OVERALL LAND-HOLDING





EXISTING FRONT (NORTH WEST) ELEVATION

SCALE 1:100



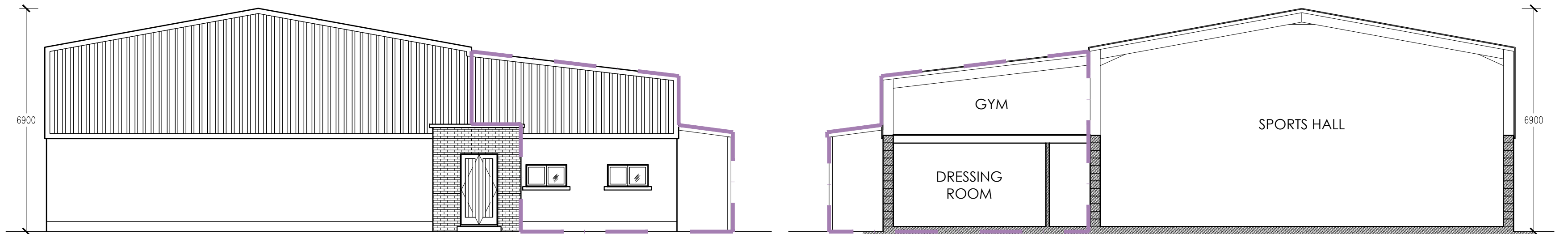
EXISTING SIDE (NORTH EAST) ELEVATION

SCALE 1:100



EXISTING REAR (SOUTH EAST) ELEVATION

SCALE 1:100



EXISTING SIDE (SOUTH WEST) ELEVATION

SCALE 1:100

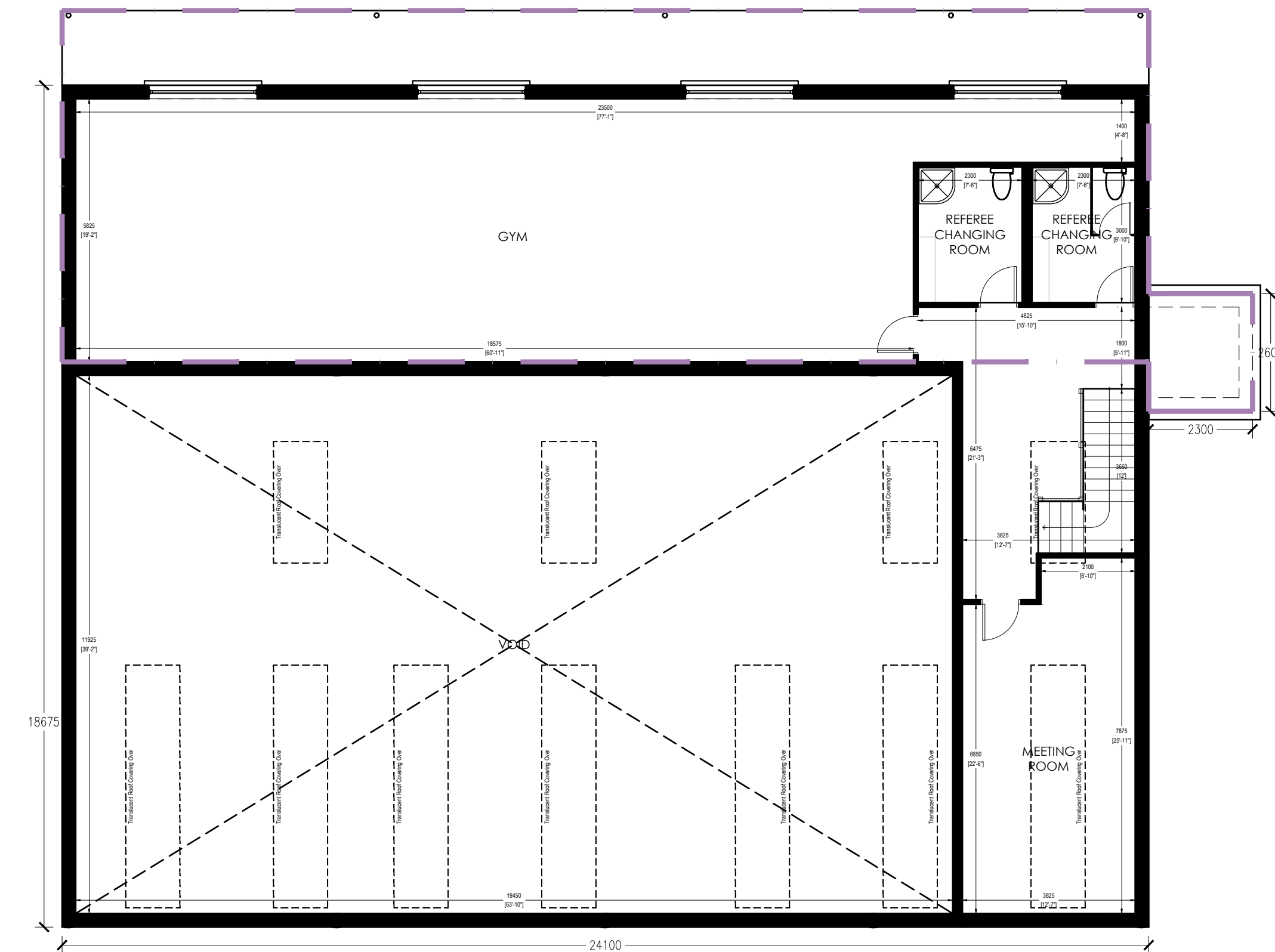
TYPICAL SECTION

SCALE 1:100



EXISTING GROUND FLOOR PLAN

SCALE 1:100



EXISTING GROUND FLOOR PLAN

SCALE 1:100

GENERAL NOTES

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Revision

Date Rev.

Client: James Cafferty on Behalf of Carragh GFC

Job: Renovation & Extension to Clubhouse

Location: St. Farnan's Park, Prosperous

Drawing Title: Existing Clubhouse Plans, Elevation & Section

oca brian connolly associates CONSULTING ENGINEERS

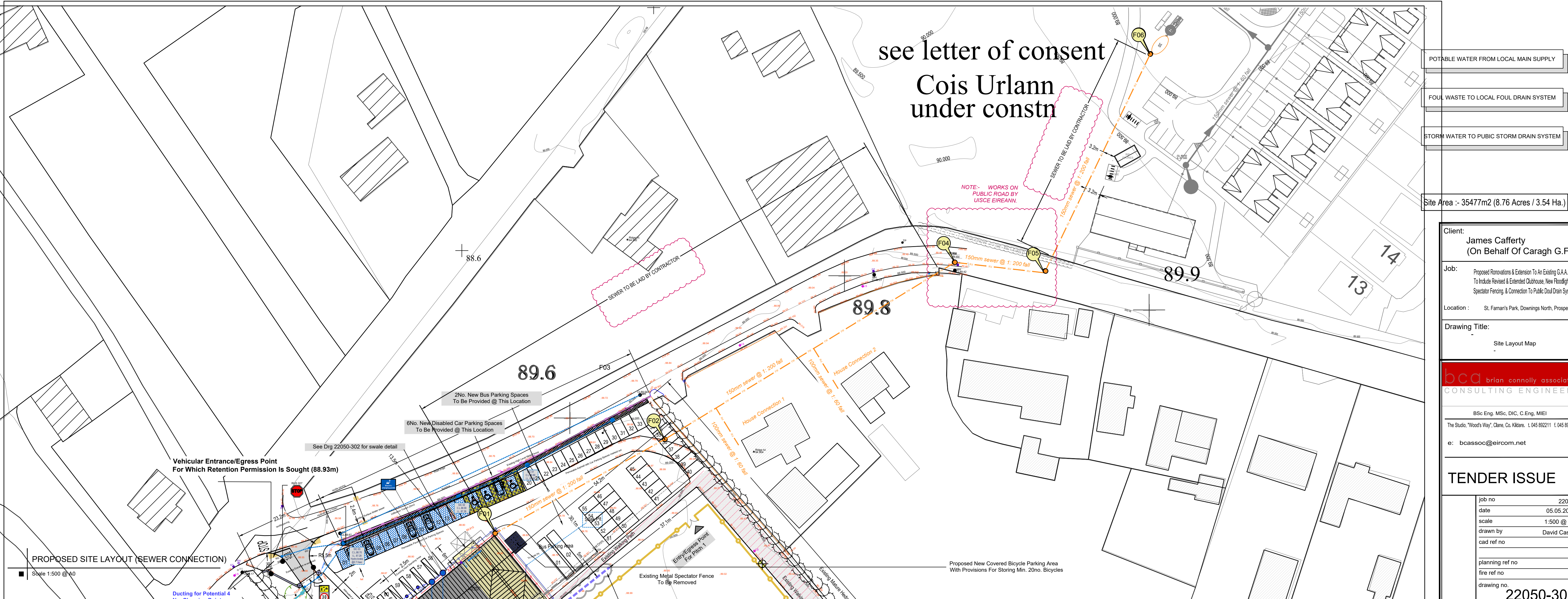
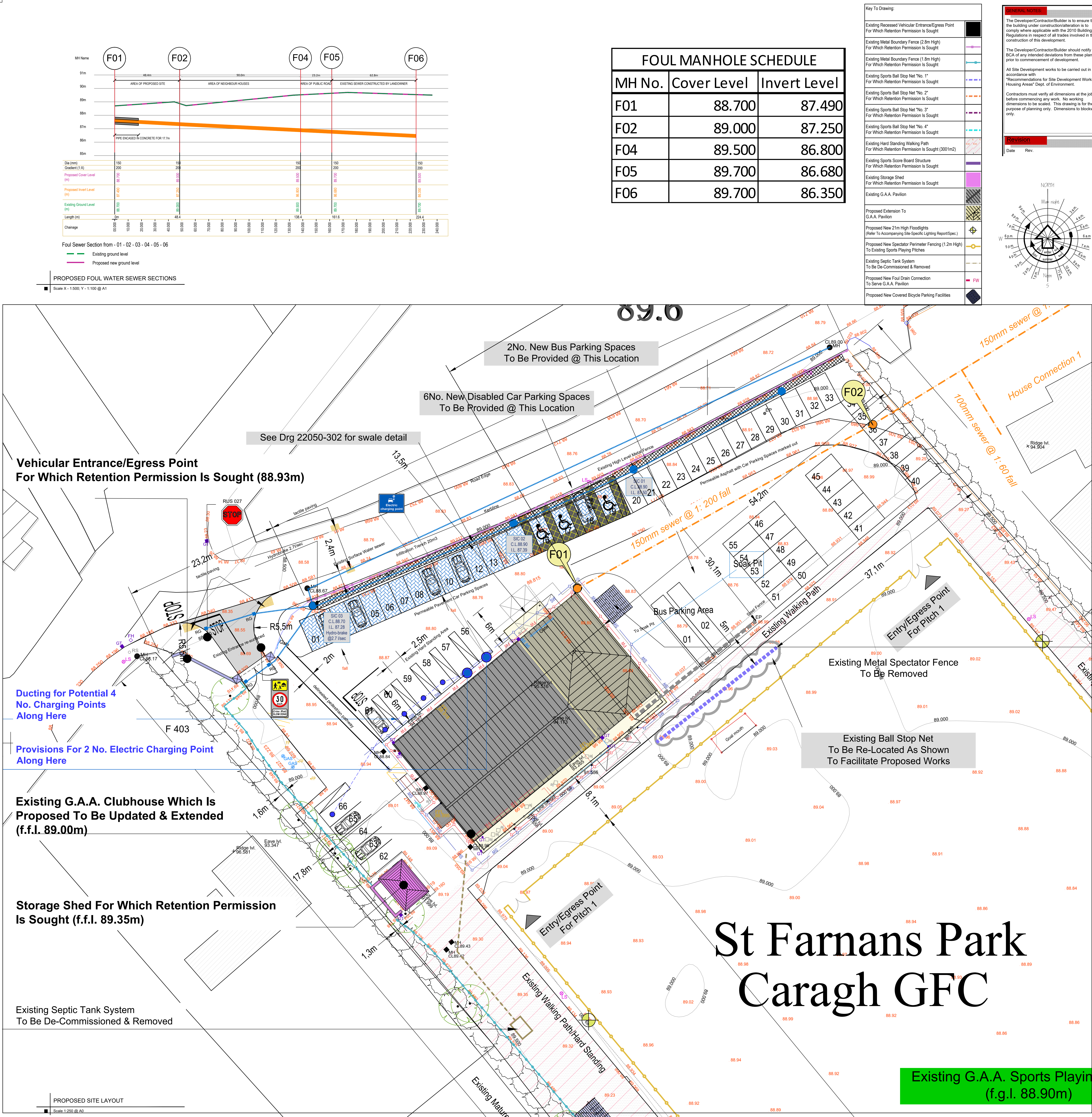
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TENDER ISSUE

job no 22050
date 11-06-2025
scale 1:100 @ A1
drawn by Derek Malone
cad ref no
planning ref no
fire ref no
drawing no.

22050-200



GENERAL NOTES

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Revision

Date Rev.

Key To Drawing

Existing Recessed Vehicular Entrance/Egress Point For Which Retention Permission Is Sought

Existing Metal Boundary Fence (2.8m High) For Which Retention Permission Is Sought

Existing Metal Boundary Fence (1.8m High) For Which Retention Permission Is Sought

Existing Sports Ball Stop Net "No. 1" For Which Retention Permission Is Sought

Existing Sports Ball Stop Net "No. 2" For Which Retention Permission Is Sought

Existing Sports Ball Stop Net "No. 3" For Which Retention Permission Is Sought

Existing Sports Ball Stop Net "No. 4" For Which Retention Permission Is Sought

Existing Hard Standing Walking Path For Which Retention Permission Is Sought (300mm2)

Existing Sports Score Board Structure For Which Retention Permission Is Sought

Existing Storage Shed For Which Retention Permission Is Sought

Existing G.A.A. Pavilion

Proposed Extension To G.A.A. Pavilion

Proposed New 21m High Floodlights (Refer To Accompanying Site-Specific Lighting Report/Spec.)

Proposed New Spectator Perimeter Fencing (1.2m High) To Existing Sports Playing Pitches

Existing Septic Tank System To Be De-Commissioned & Removed

Proposed New Foul Drain Connection To Serve G.A.A. Pavilion

Proposed New Covered Bicycle Parking Facilities

Client: James Cafferty (On Behalf Of Caragh G.F.C.)

Job: Proposed Renovation & Extension To An Existing G.A.A. Facility To Include Revised General Outline, New Floodlighting, Spectator Fencing & Connection To Public Drain System

Location: St. Farnan's Park, Downings North, Prosperous

Drawing Title: Site Layout Map

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TENDER ISSUE

job no 22050
date 05.05.2023
scale 1:500 @ A0
drawn by David Casey
cad ref no -
planning ref no -
fire ref no -
drawing no 22050-300

Maintenance Requirements for Bioretention Systems & Tree Pits:

Regular Inspections:

- Inspect Infiltration Surfaces for Silting and Ponding, Record De-watering Time of the Facility and Asses Standing Water Levels in Underdrain (If Appropriate) to Determine if Maintenance is Necessary. Frequency - Quarterly
- Check Operation of Underdrains by Inspection of Flows after Rain Frequency - Annually
- Assess Plants for Disease Infection, Poor Growth, Invasive Species etc. and Replace as Neccessary. Frequency - Quarterly
- Inspect Inlets and Outlets for Blockage. Frequency - Quarterly

Regular Maintenance:

- Remove Litter and Surface Debris and Weeds. Frequency - Quarterly (Or More Frequently for Tidiness or Aesthetic Reasons)
- Replace any Plants, to Maintain Planting Density. Frequency - As Required
- Remove Sediment, Litter and Debris Build-up from Around Inlets or from Forebays. Frequency - Quarterly to Biannually
- Infill any Holes or Scour in the Filter Medium, Improve Erosion Protection if Required. Frequency - As Required
- Repair Minor Accumulations of Silt by Raking Away Surface Mulch, Scarifying Surface of Medium and Replacing Mulch. Frequency - As Required

Remedial Actions:

- Remove and Replace Filter Medium and Vegetation Above. Frequency - As Required but Likely to be > 20 Years

Maintenance of Swales and Detention Basins

- Regular Grass Mowing
- Sediment Removed if Equal or More Than 25mm Deep
- Clearance of any Blockages to Inlets & Outlets
- Silt Trap Cleaning
- Repair Compacted or Damaged Area

Maintenance Requirements for Permeable Pavement:

Regular Inspections:

- Brushing and Vacuuming (Standard Cosmetic Sweep over Whole Surface). Frequency - Once a year after Autumn leaf Fall or Reduced Frequency as Required, based on Site-specific Observations of Clogging or Manufacturers Recommendations - Pay Particular Attention to Areas where Water Runs onto Pervious Surface from Adjacent Impermeable Areas as this Area is Most Likely-to Collect Most Sediment
- Stabilise and Mow Contributing and Adjacent Areas. Frequency - As Required
- Removal of Weeds or Management Using Glyphosate Applied Directly into the Weeds by an Applicator Rather than Spraying. Frequency - As Required - Once per Year on Less Frequently Used Pavements

Remedial Actions:

- Remediate Any Landscaping Which, Through Vegetation Maintenance or Soil Slip has Been Raised to Within 50mm of the Level of the Paving. Frequency - As Required
- Remedial Work to Any Depressions, Rutting and Cracked or Broken Blocks Considered Detrimental to the Structural Performance or a Hazard to Users, and Replacement of Lost

- Jointing Material. Frequency - As Required
- Rehabilitation of Surface and Upper Substructure by Remedial Sweeping. Frequency - As Required - Every 10 - 15 Years or as Required (If Infiltration Performance is Reduced Due To Significant Clogging)

Monitoring:

- Initial Inspection/ Monthly for Three Mnths After Installation. Inspect for Evidence of Poor Operation and/or Weed Growth and if Required, Take Remedial Action
- Three-monthly, 48h After Large Storms in First Six Months: Inspect Silt Accumulation Rates and Establish Appropriate Brushing Frequencies.
- Monitor Inspection Chambers Annually

Rootspace Support Structure Under Covered / Grilled Tree Pits:

- In All Covered / Grilled Tree Pits and in All Instances Where the Tree Pit Soil Extends Beneath the Footpath / Pavement, a Proprietary Rootspace Pavement Support System by Greenleaf Ireland, or Equal Approved, Shall be Integrated Across the Full Extent of the Tree Pit. Refer to Landscape Architects Drawing for Tree Pit Soil Extents

Notes:

1. Non-woven Geotextile Specification. The Geotextile Shall Sustain a Tensile Load of not Less Than 5.0kN/m at Break and Have a Min. Failure Strain of 10% when Determined in Accordance with IS EN ISO 10319.
- Have a Min. Puncture Resistance of 1200 N when

- Determined in Accordance with IS EN ISO 12236; Have a Distribution of Pore Openings Such That the Apparent Opening Size Ø90 when Determined in Accordance with IS EN ISO 12956, or Other Appropriate Test, is Less Than 300 Microns;
- Allow Water to Flow Through it, in Either Direction, Normal to its Principal Plane at a Rate Not Less Than 10l/m²/s, Under a Constant Head of Water of 100mm and a Max. Breakthrough Head of 50mm when Determined in Accordance with IS EN ISO 12958.

2. Plan Area of the Bio-retention Area Should be 2-4% of the Overall Area Drained. Max. Width of 10m Unless Noted Otherwise

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Revision

Date Rev.

Client:

James Cafferty
(On Behalf Of Caragh G.F.C.)

Job:

Proposed Renovations & Extension To An Existing G.A.A. Facility To Include Revised & Extended Clubhouse, New Floodlighting, Spectator Fencing, & Connection To Public Doul Drain System.

Location :

St. Farnan's Park, Downings North, Prosperous.

Drawing Title:

SURFACE WATER DETAIL
INFILTRATION TRENCH AND PERMEABLE DETAIL

bca brian connolly associates
CONSULTING ENGINEERS

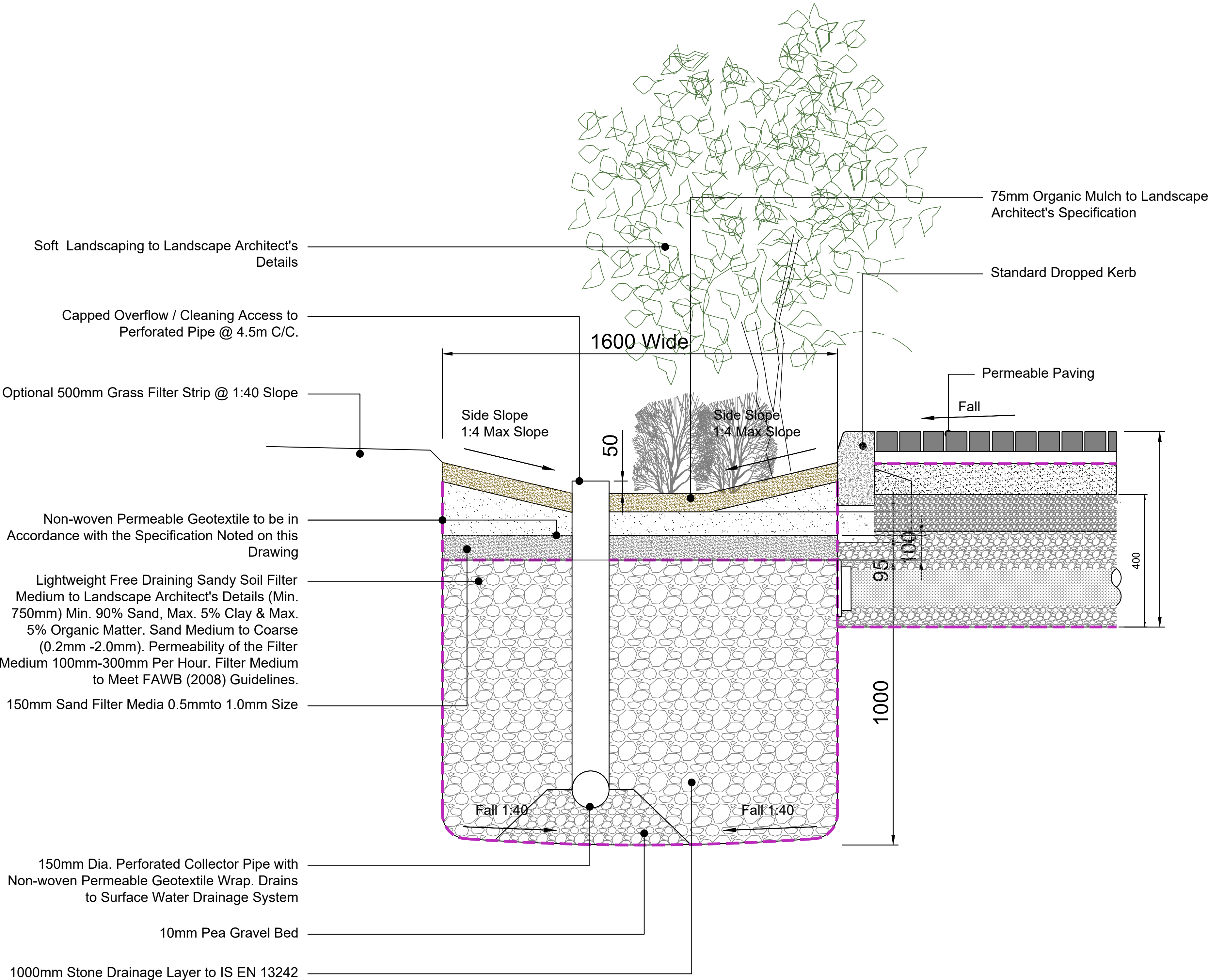
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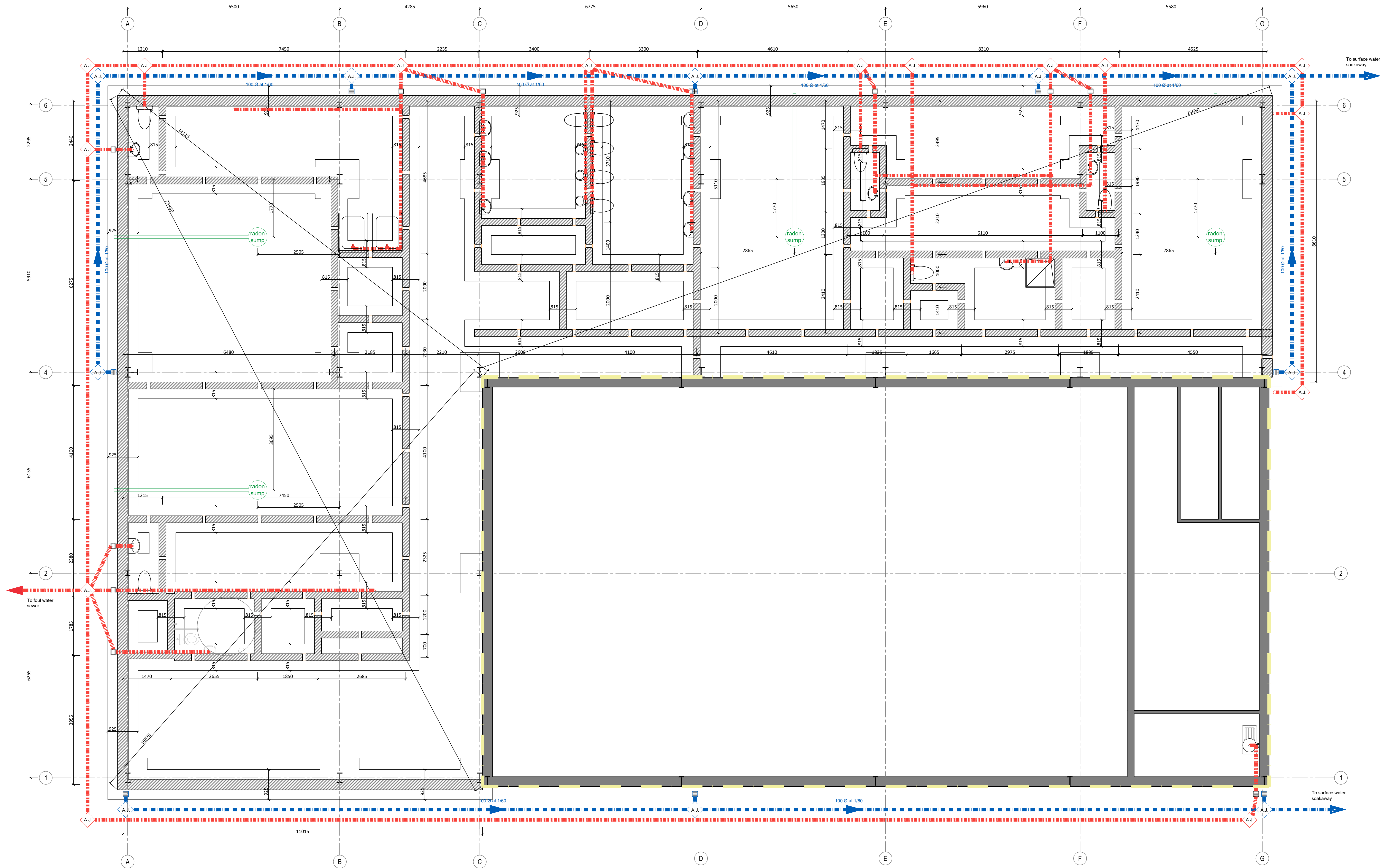
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date	03.10.2023
scale	1:10 @ A1
drawn by	Brian Connolly
cad ref no	-
planning ref no	-
fire ref no	-
drawing no.	22050-302

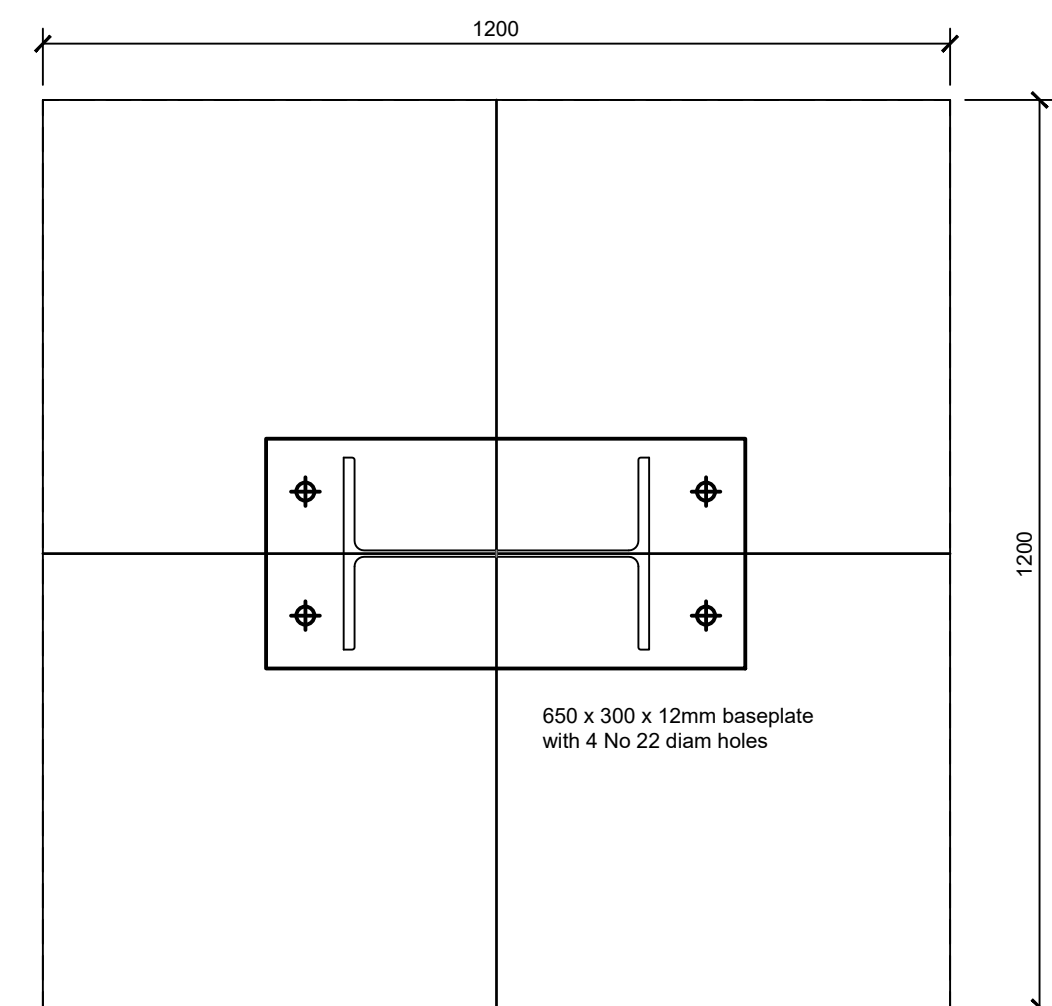


PERMEABLE PAVING AND INFILTRATION TRENCH DETAIL

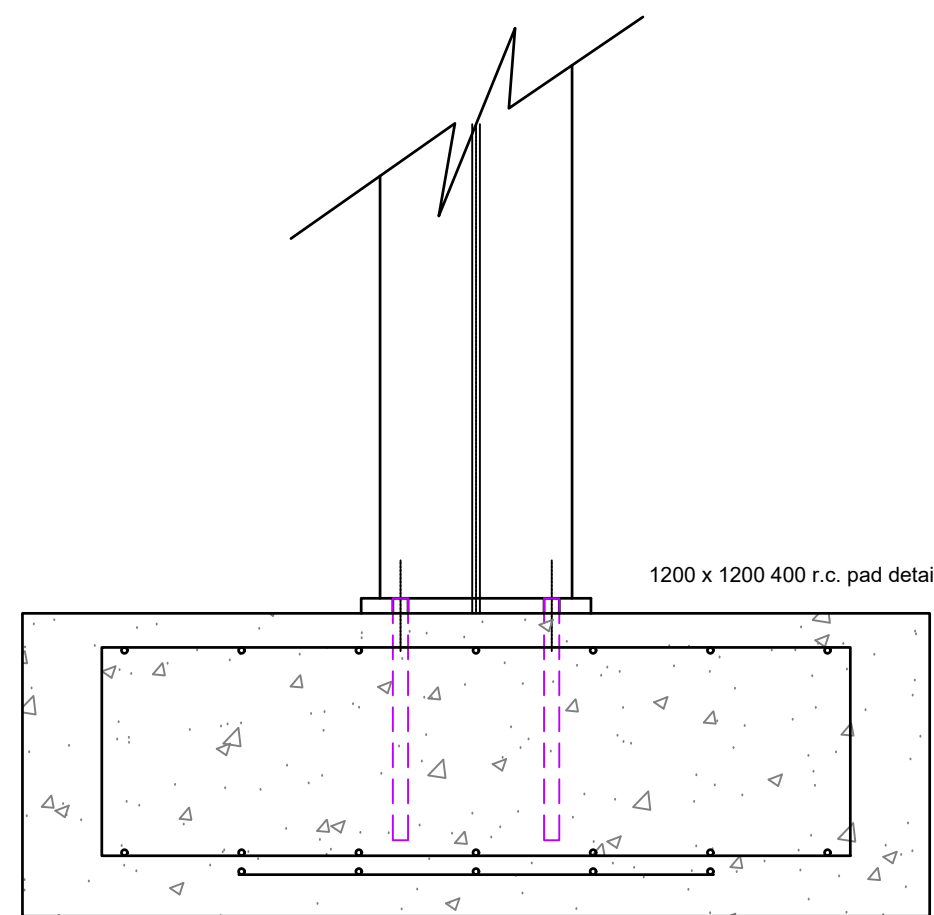
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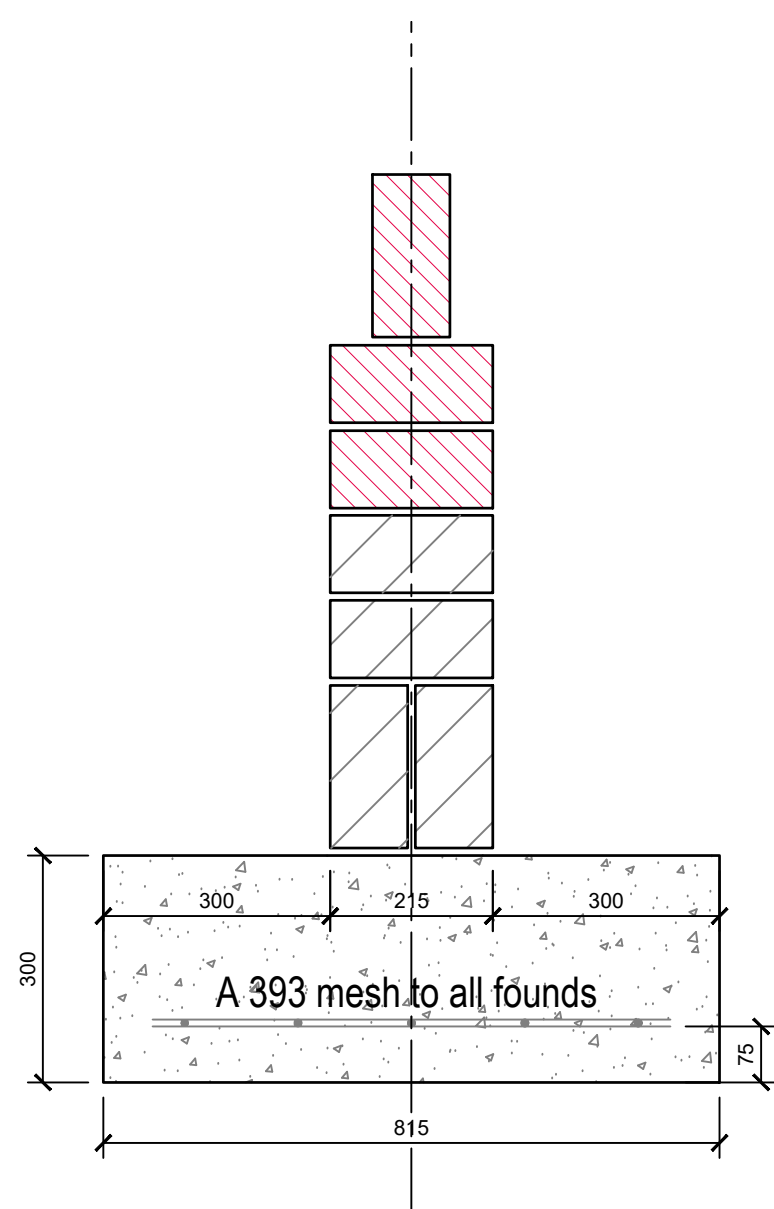
PROPOSED FOUNDATION PLAN
SCALE 1:100



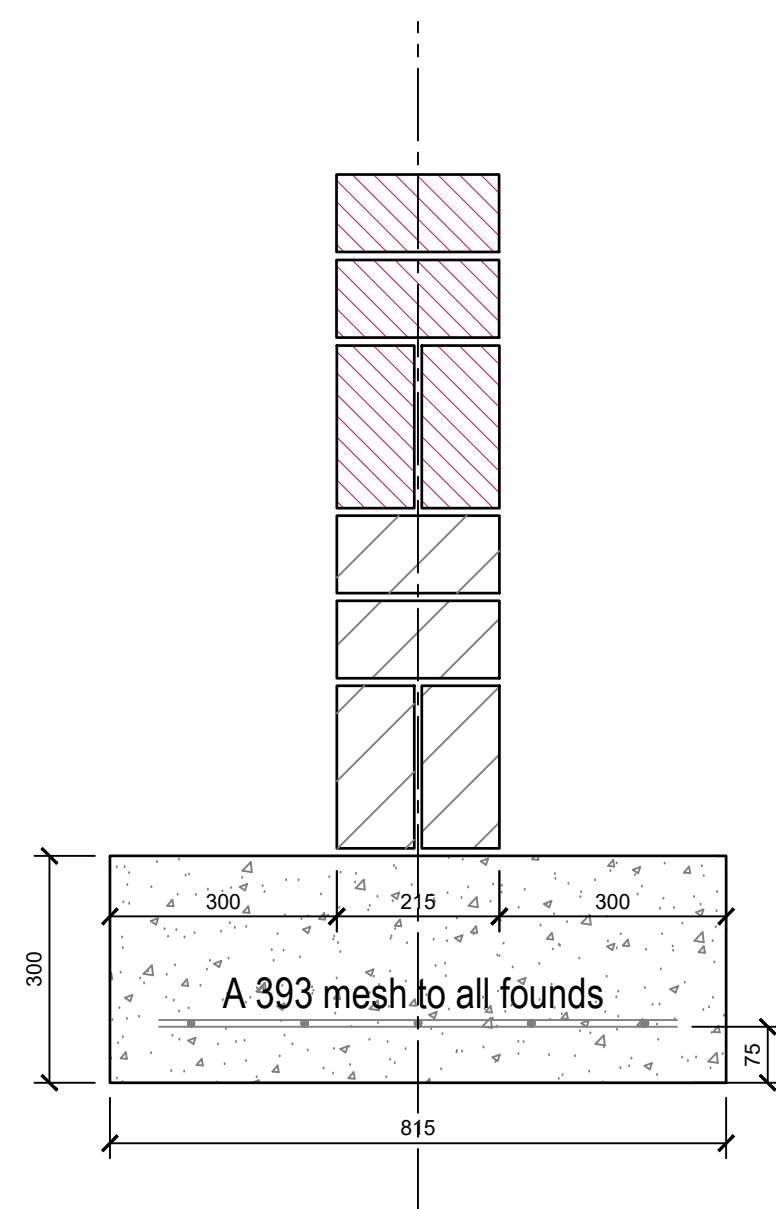
COLUMN BASE PLATE DETAIL
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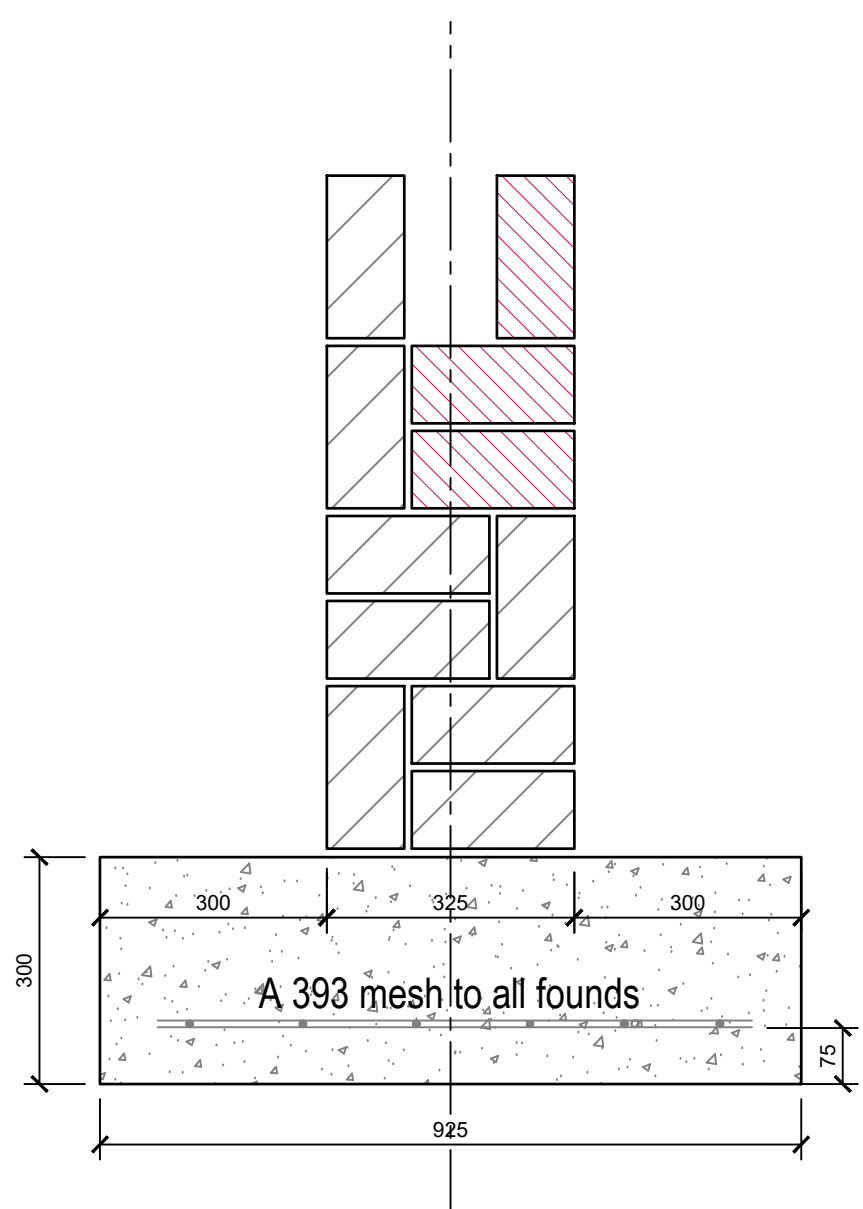
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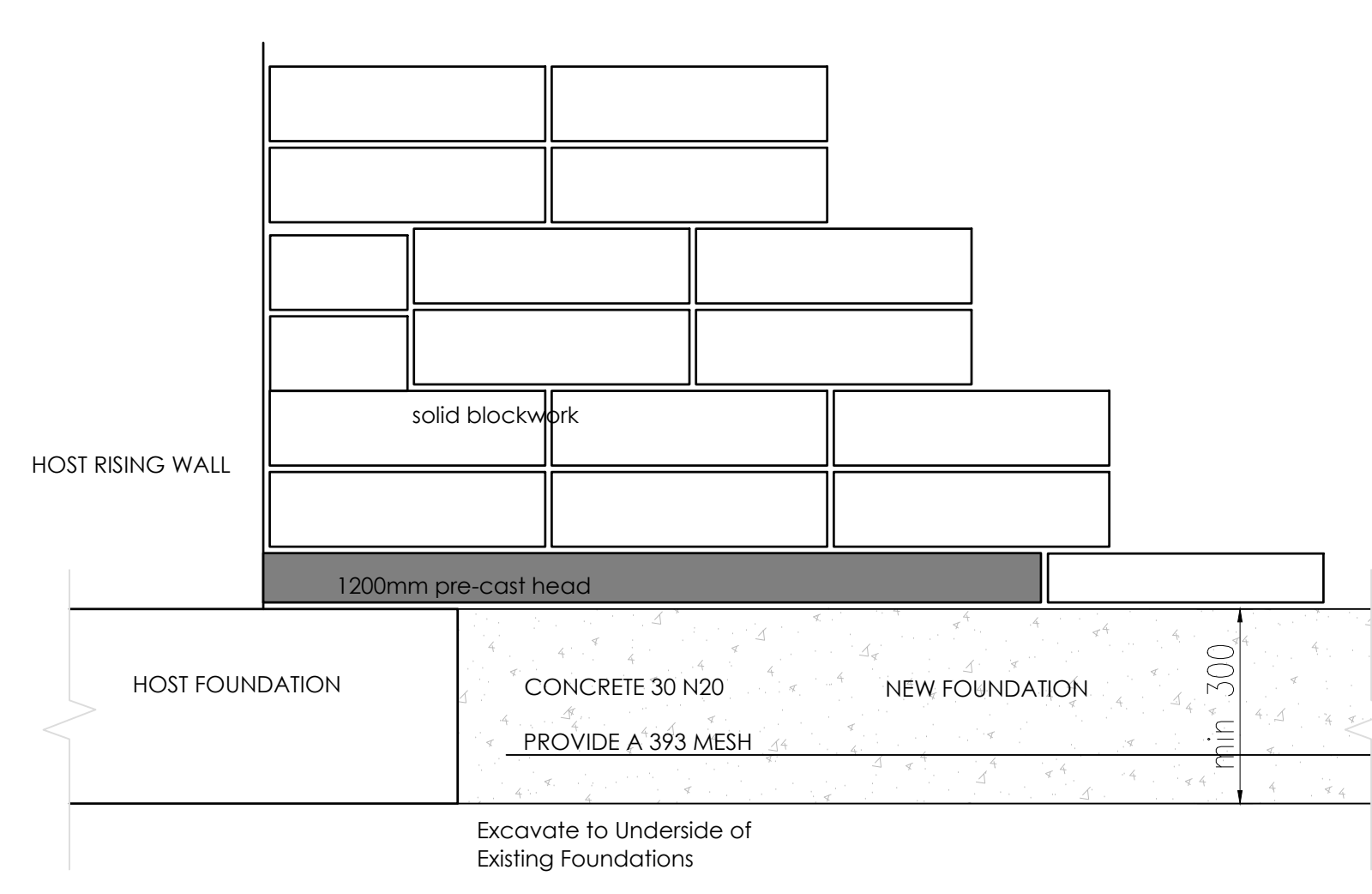
100mm WALL FOUNDATION DETAIL
SCALE 1:10



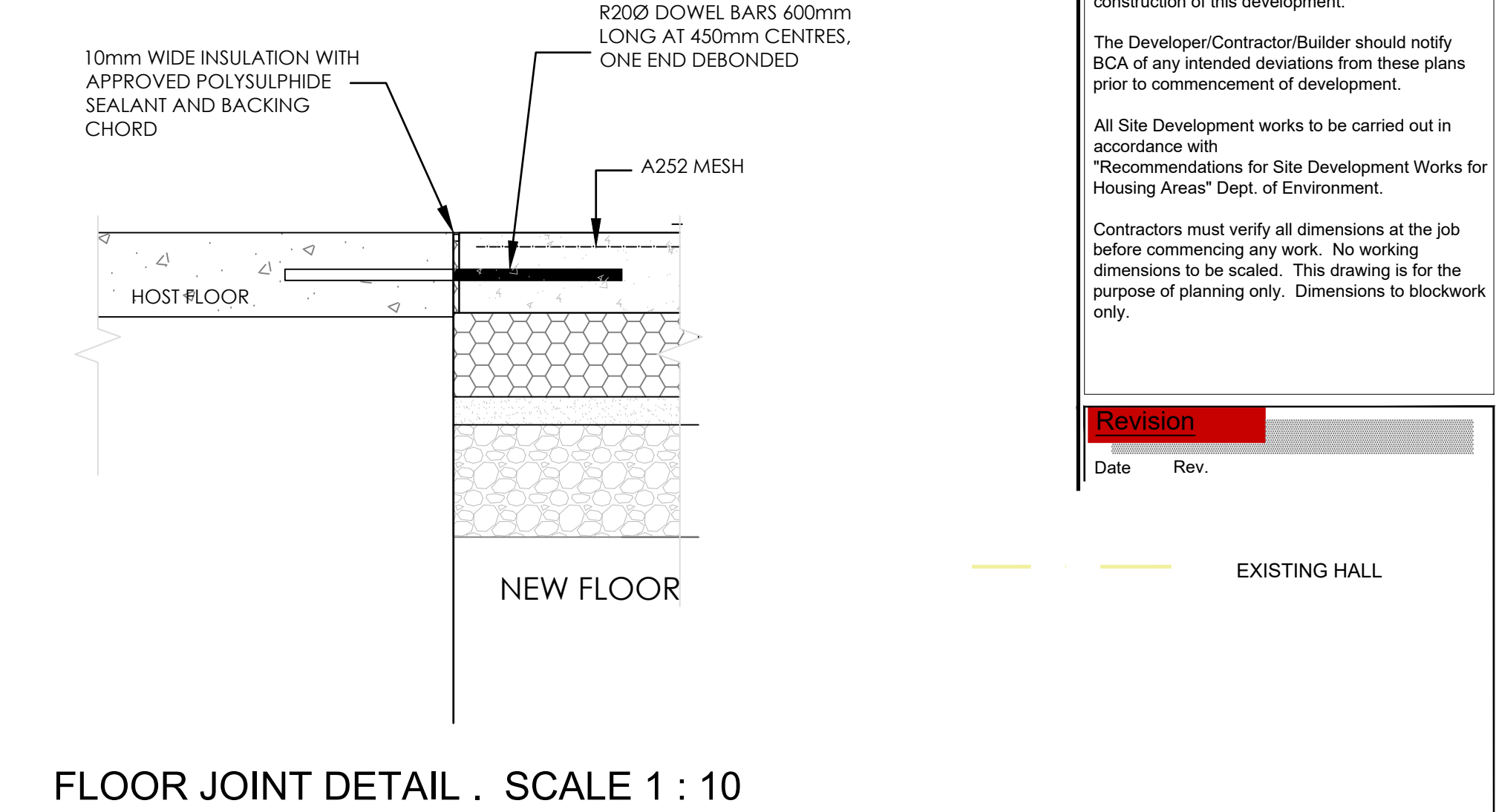
215mm WALL FOUNDATION DETAIL
SCALE 1:10



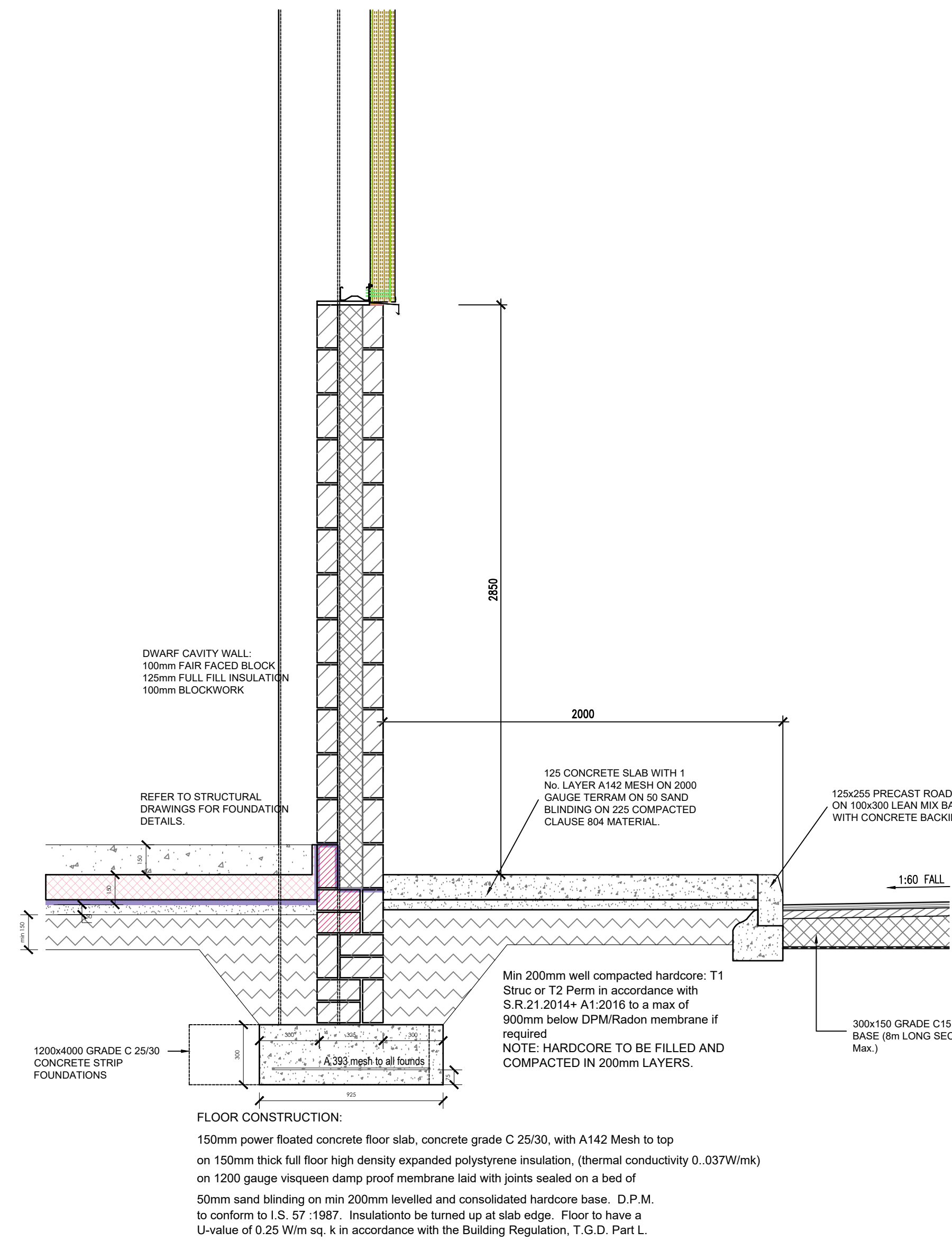
325mm WALL FOUNDATION DETAIL
SCALE 1:10



FOUNDATION JOINT DETAIL
SCALE 1:10



FLOOR JOINT DETAIL . SCALE 1 : 10



PROPOSED WALL SECTION
SCALE 1:20

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Revision	Date	Rev.

EXISTING HALL

Client: James Cafferty on Behalf of Caragh GFC

Job: Renovation & Extension to Existing Clubhouse

Location: St. Farnan's Park, Prosperous

Drawing Title: Proposed Foundation Plan

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TENDER ISSUE

job no	22050
date	11-06-2025
scale	1:50 @ A0
drawn by	David Casey
cad ref no	
planning ref no	
the ref no	
drawing no	22050-501

GENERAL NOTES

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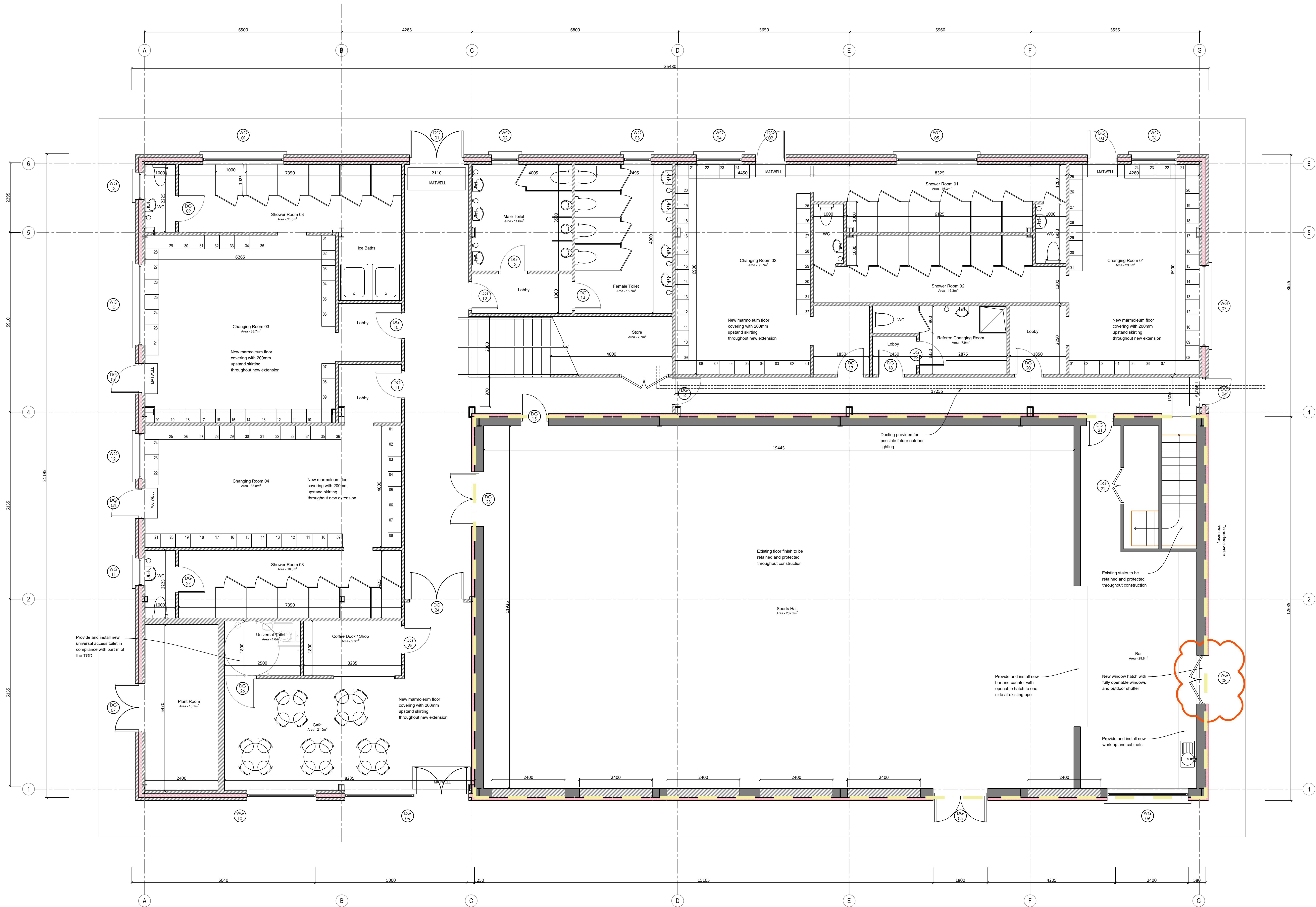
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Revision

Date

Rev.

EXISTING HALL



PROPOSED GROUND FLOOR PLAN

SCALE 1:50

Client: James Cafferty on Behalf of Caragh GFC

Job: Renovation & Extension to Existing Clubhouse

Location: St. Farnan's Park, Prosperous

Drawing Title: Proposed Ground Floor Plan

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TENDER ISSUE

job no 22050

date 11-06-2025

scale 1:50 @ A0

drawn by David Casey

cad ref no

planning ref no

tra ref no

drawing no 22050-502-A

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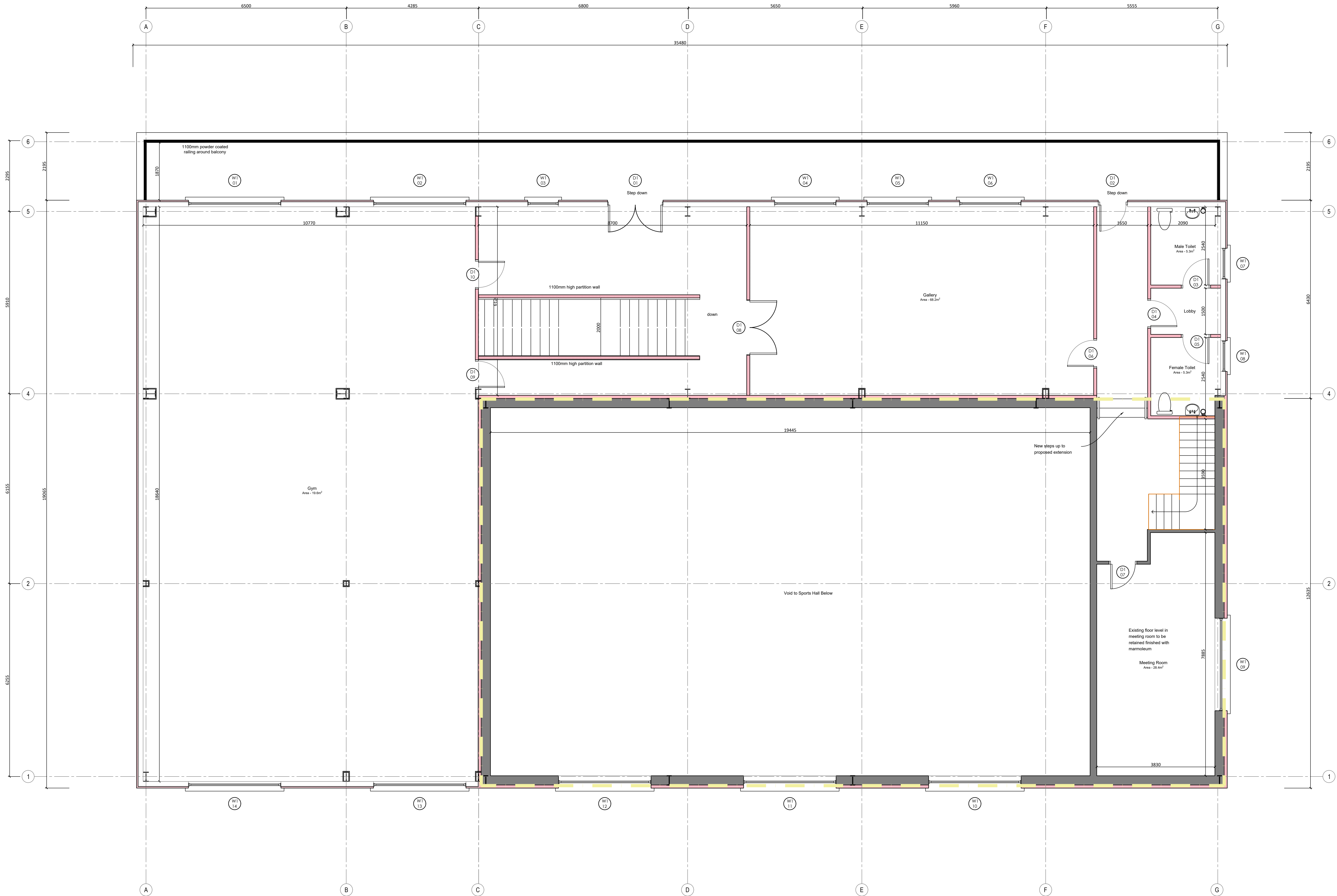
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Revision

Date Rev.



Proposed External Wall

Proposed Internal Wall

Existing Wall to be Retained

KEY LEGEND

Client: James Cafferty on Behalf of Caragh GFC

Job: Renovation & Extension to Existing Clubhouse

Location: St. Farnan's Park, Prosperous

Drawing Title: Proposed First Floor Plan

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TENDER ISSUE

Job no 22050
Date 11-06-2025
Scale 1:50 @ A0
Drawn by David Casey
Cad ref no
Planning ref no
Site ref no
Drawing no 22050-503

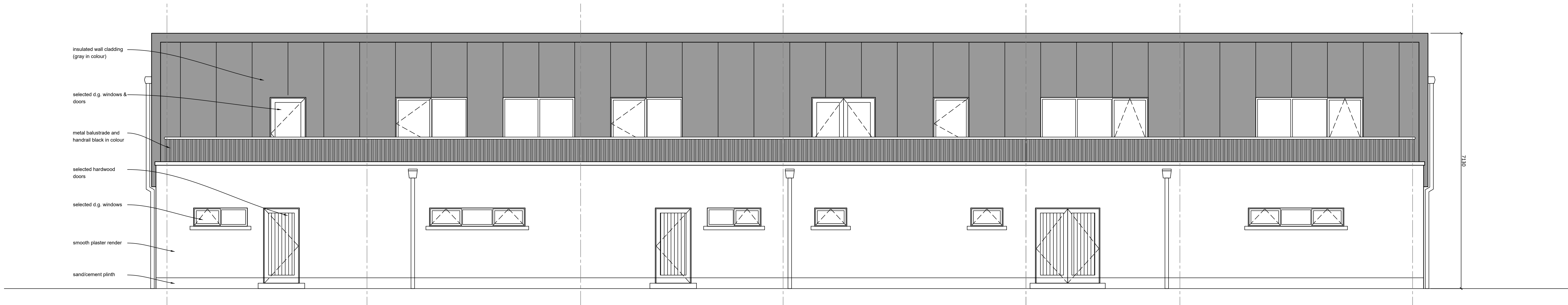
PROPOSED FIRST FLOOR PLAN

SCALE 1:50



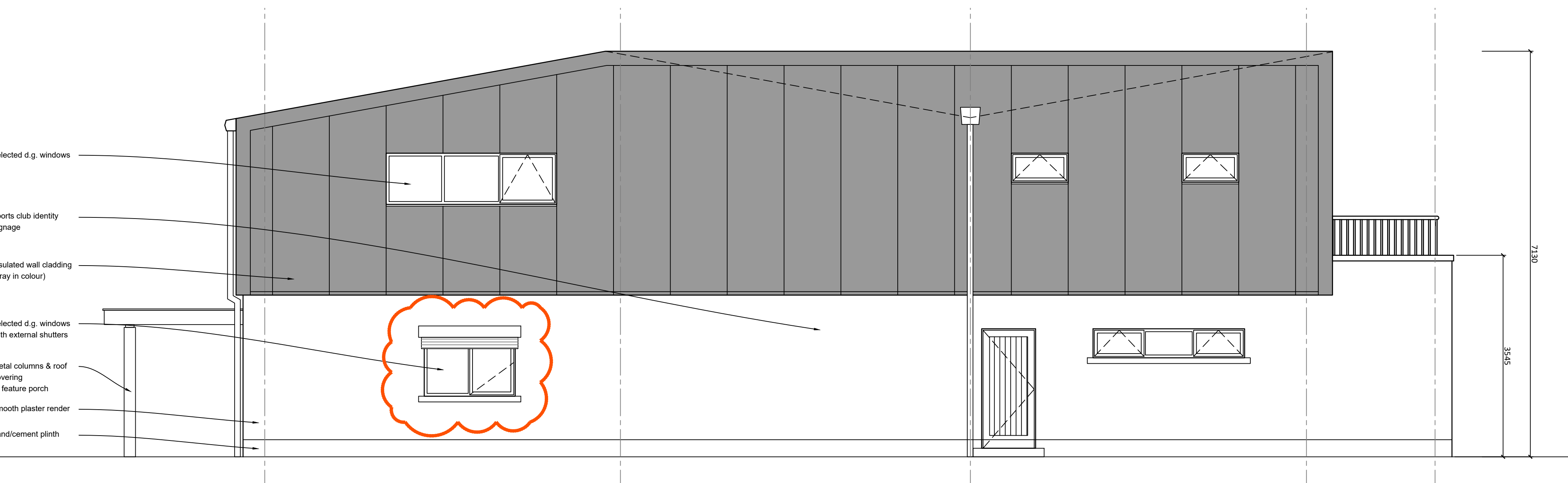
PROPOSED FRONT (NORTH WEST) ELEVATION

SCALE 1:50



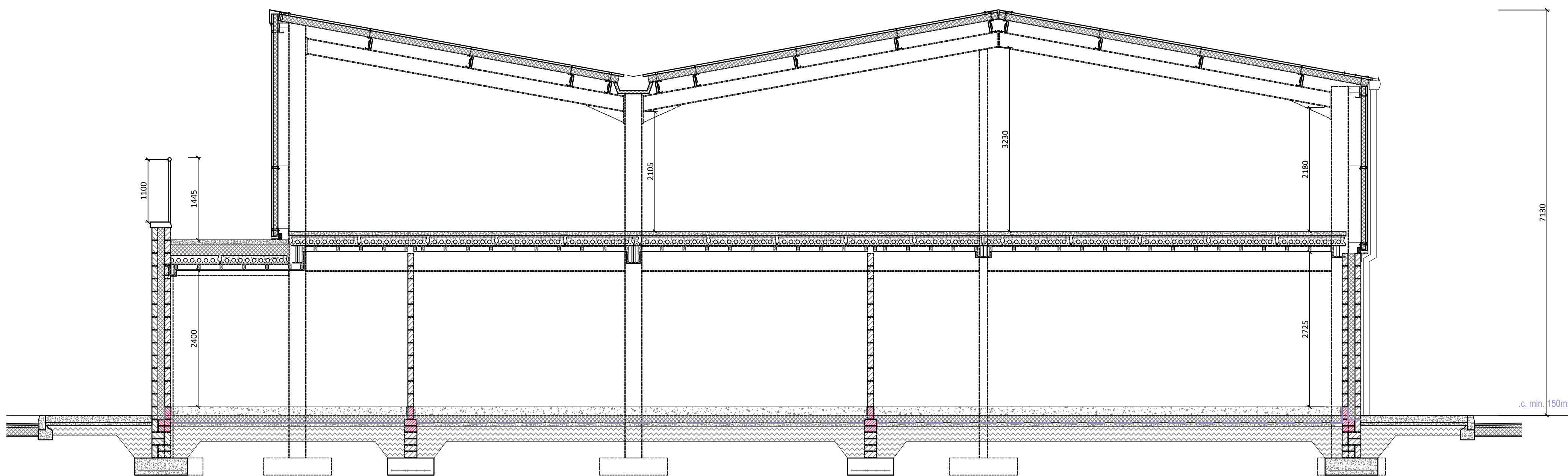
PROPOSED REAR (SOUTH EAST) ELEVATION

SCALE 1:50



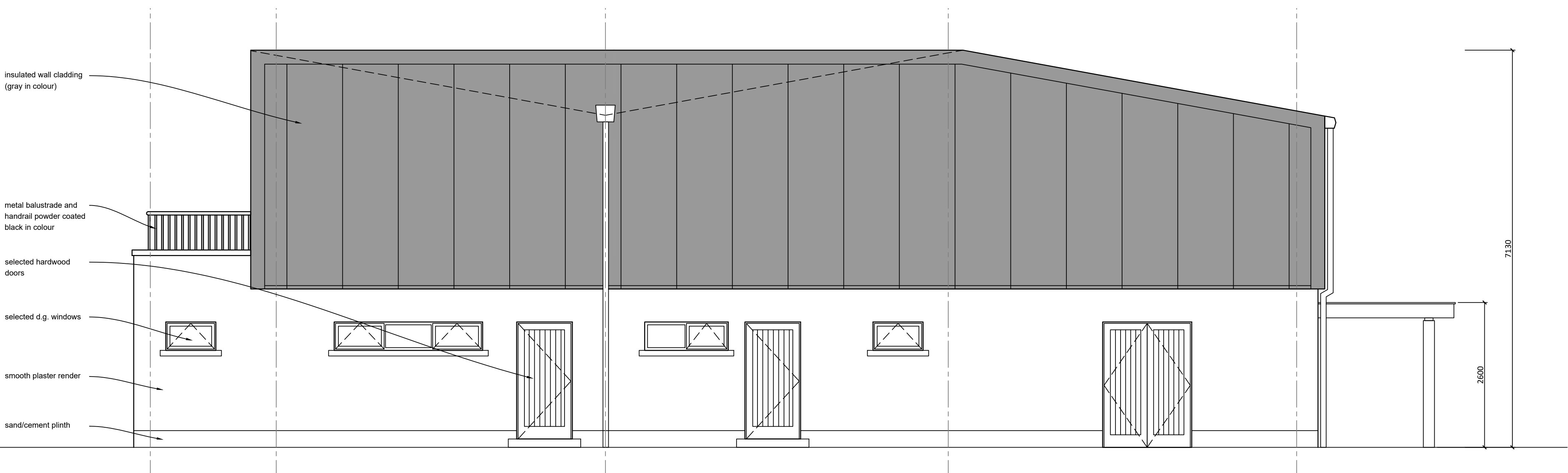
PROPOSED SIDE (SOUTH WEST) ELEVATION

SCALE 1:50



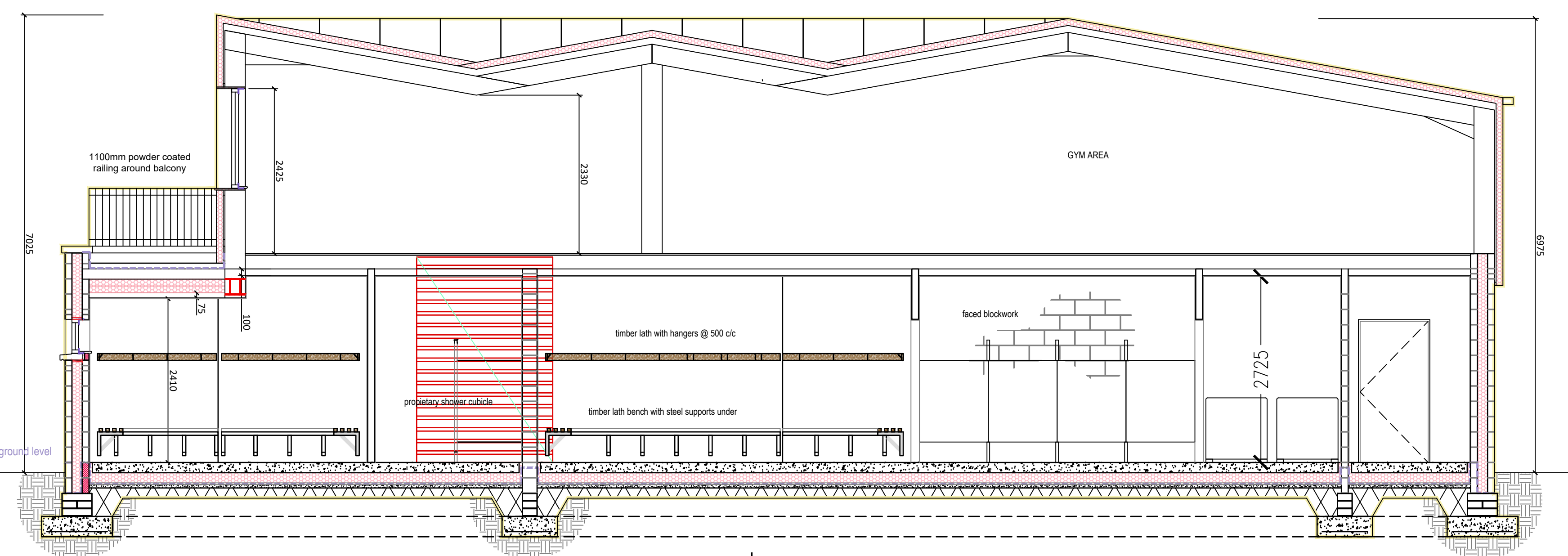
PROPOSED TYPICAL SECTION

SCALE 1:50



PROPOSED SIDE (NORTH EAST) ELEVATION

SCALE 1:50



PROPOSED TYPICAL SECTION

SCALE 1:50

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Revision

Date Rev.

Client: James Cafferty on Behalf of Caragh GFC

Job: Renovation & Extension to Existing Clubhouse

Location: St. Farnan's Park, Prosperous

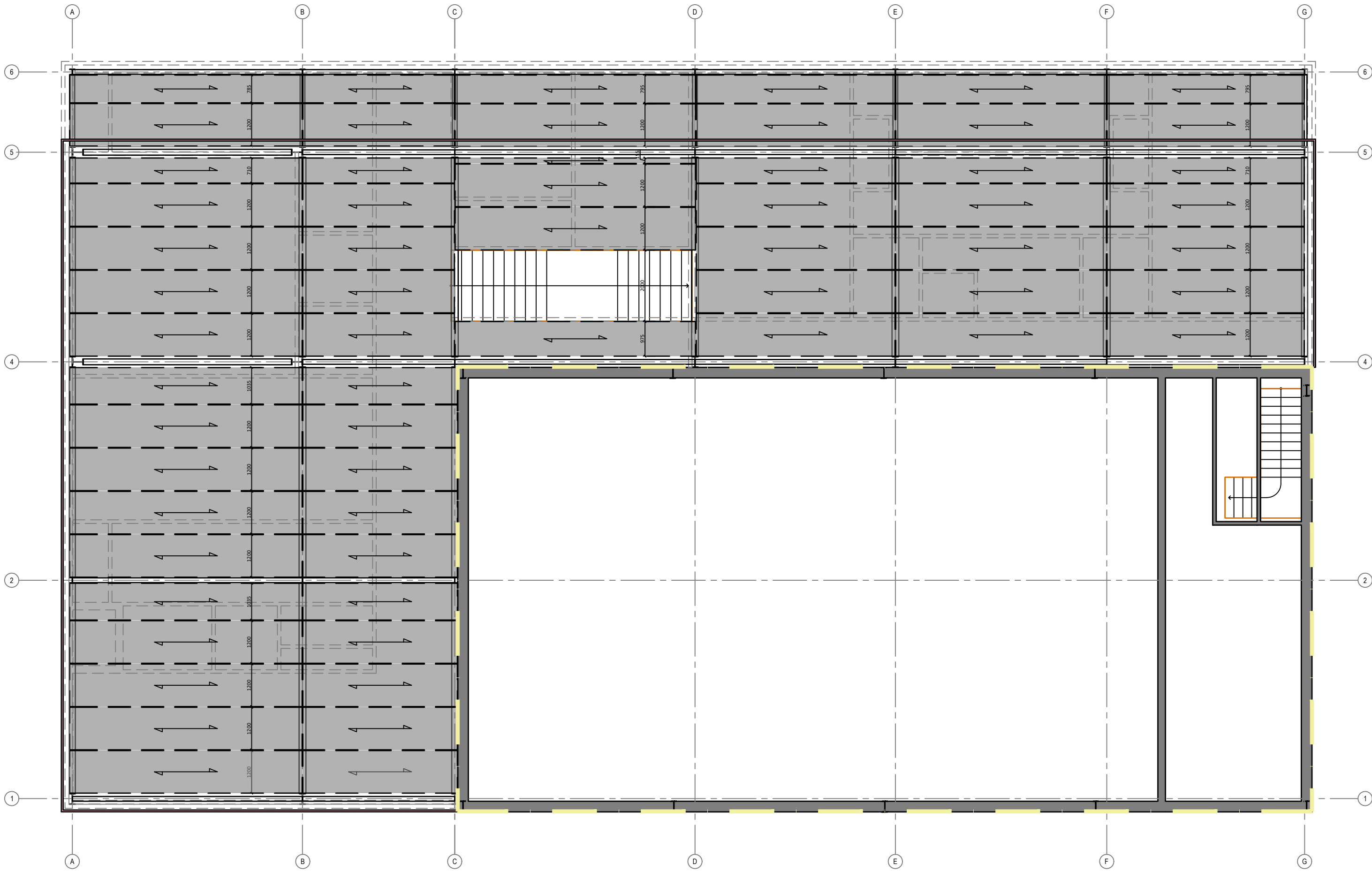
Drawing Title: Proposed Elevation and Sections

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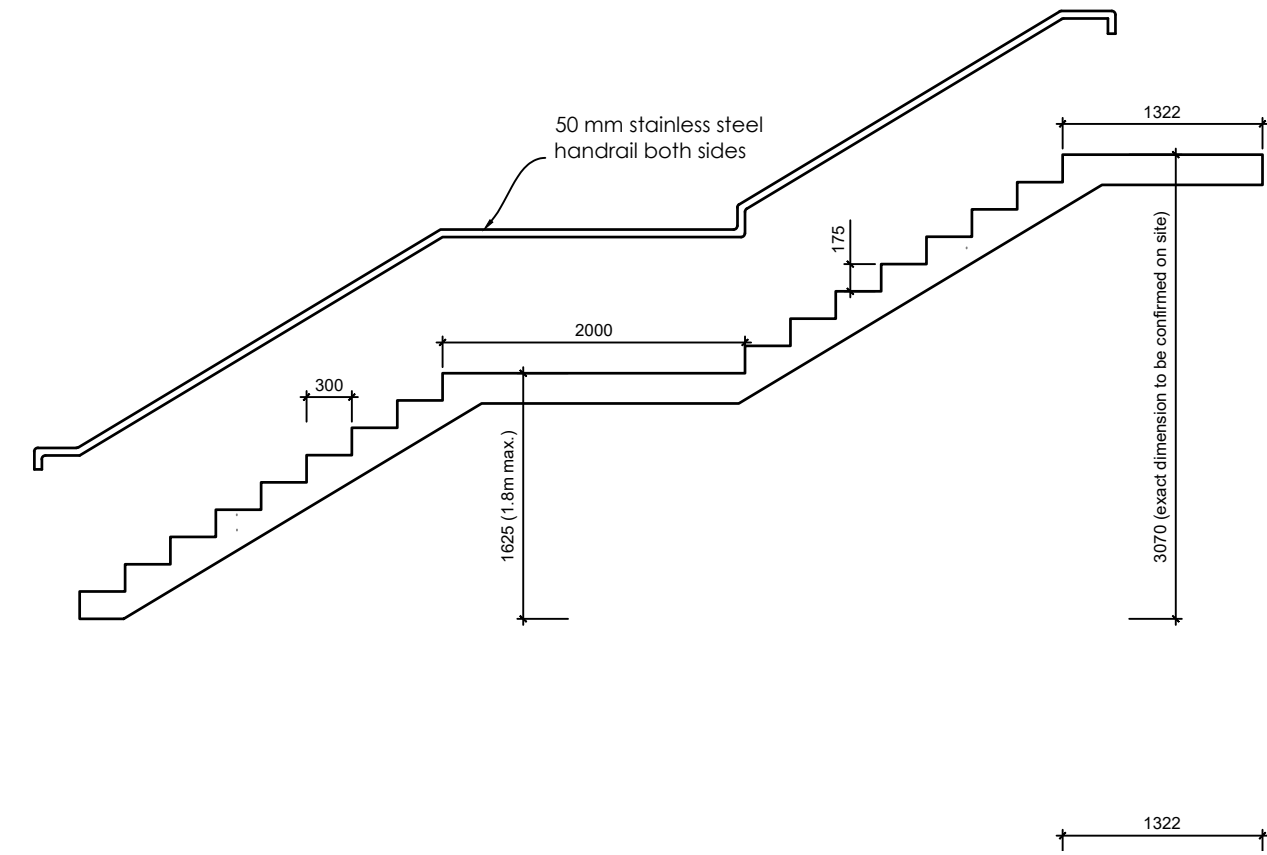
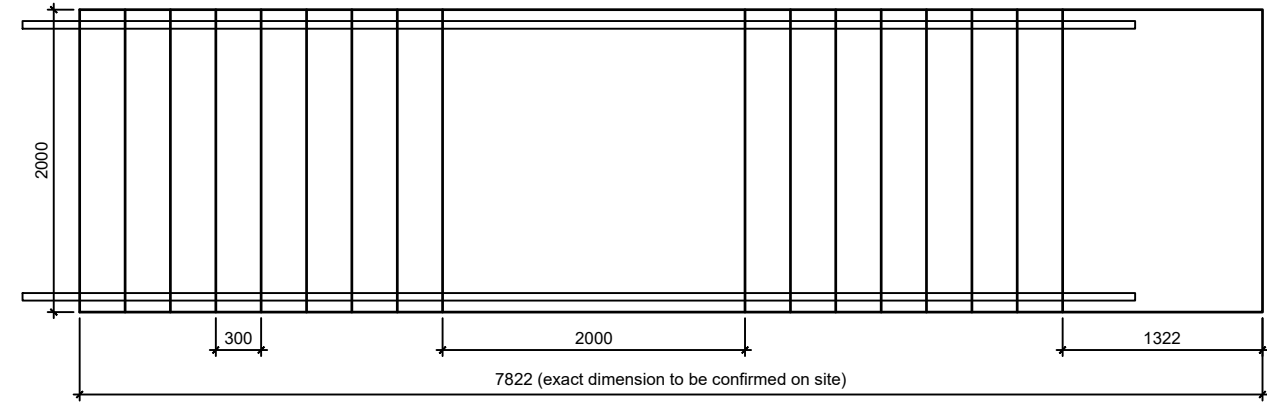
TENDER ISSUE

job no	22050
date	11-06-2025
scale	1:100 @ A1
drawn by	Derek Malone
cad ref no	-
planning ref no	-
tra ref no	-
drawing no	22050-504



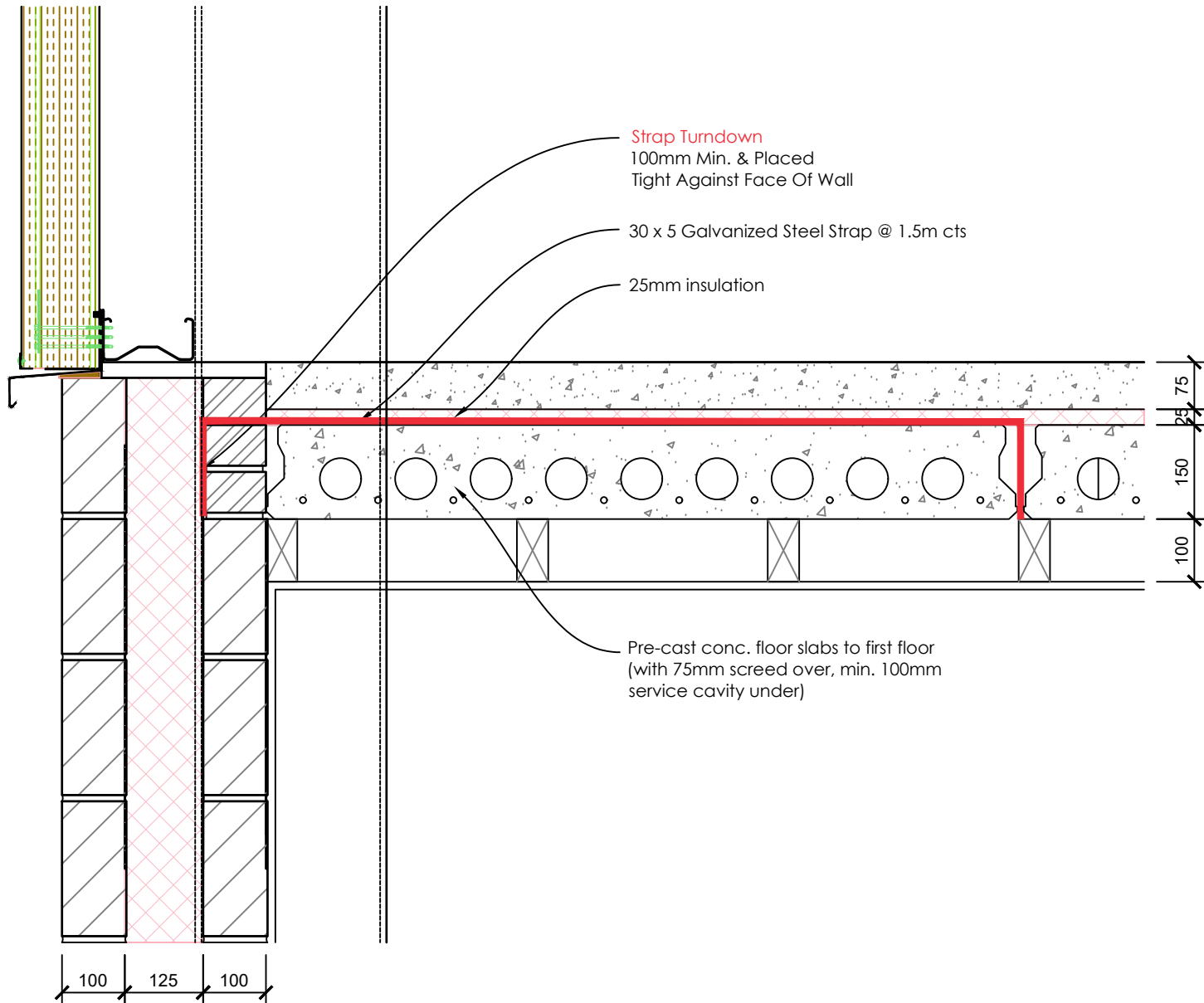
PROPOSED FIRST FLOOR SLAB LAYOUT

SCALE 1:100



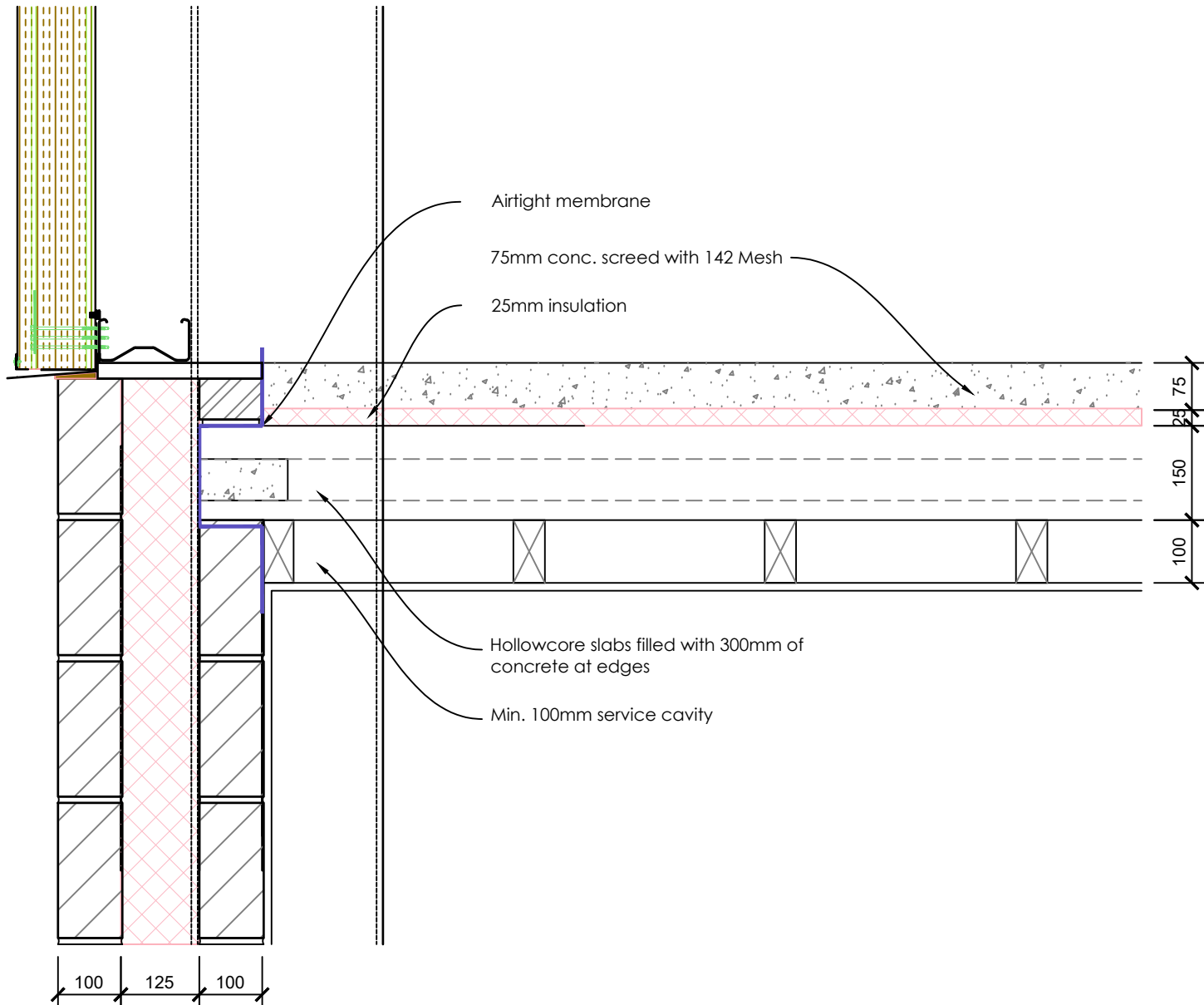
PROPOSED PRECAST CONCRETE STAIRS

SCALE 1:50



PROPOSED FLOOR SLAB DETAILS

SCALE 1:10



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Revision

Date Rev.

Client: James Cafferty on Behalf of Carragh GFC

Job: Renovation & Extension to Clubhouse

Location : St. Farnan's Park, Prosperous

Drawing Title: Proposed First Floor Slab Layout

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TENDER ISSUE

job no 22050

date 11-06-2025

scale As Shown @ A1

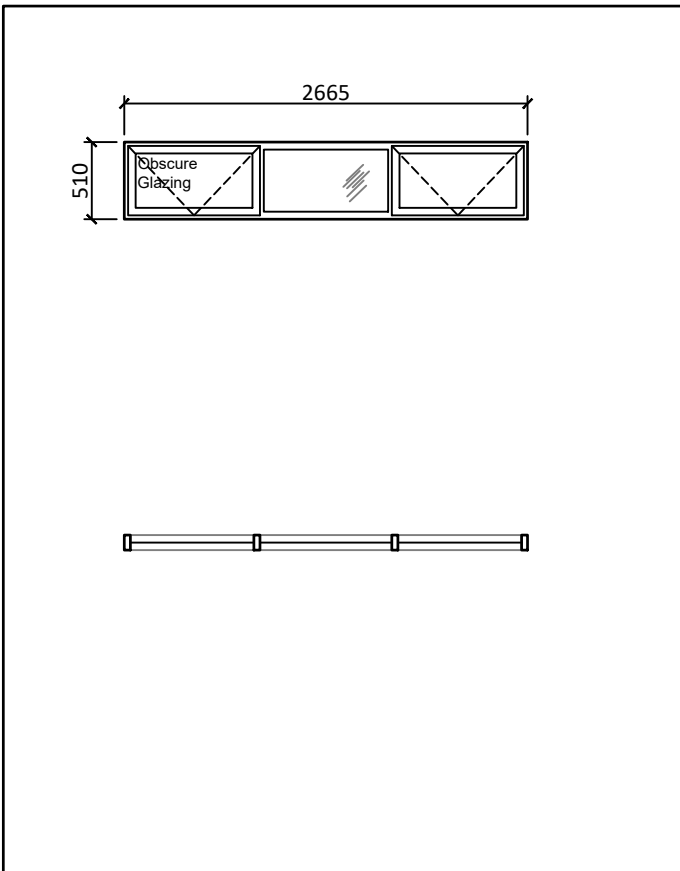
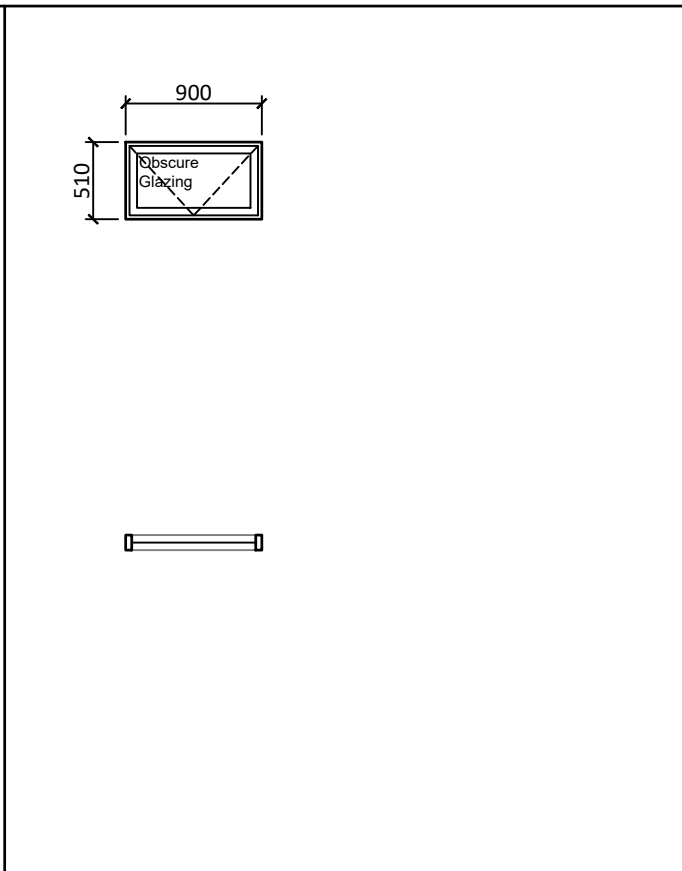
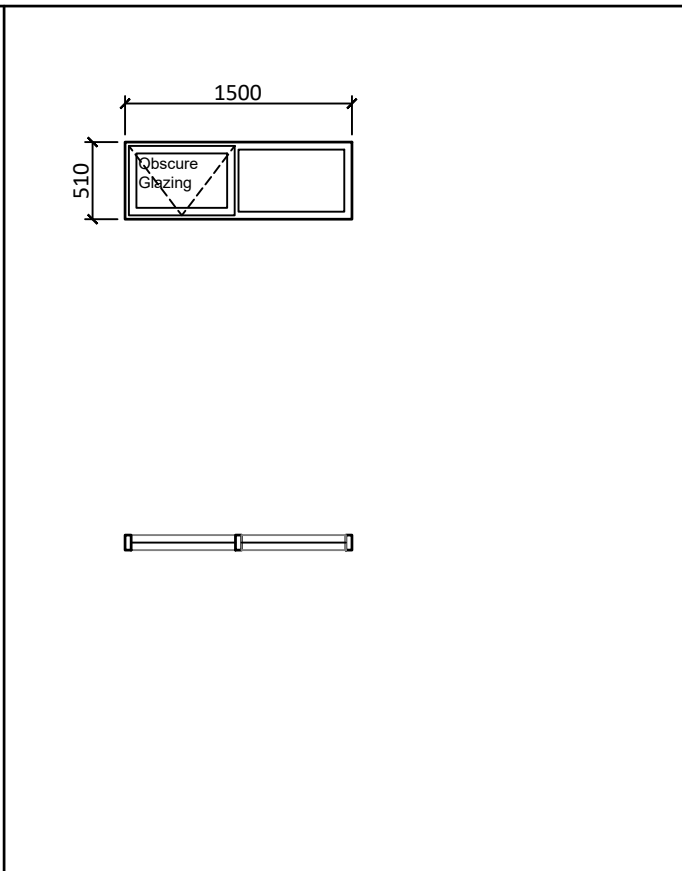
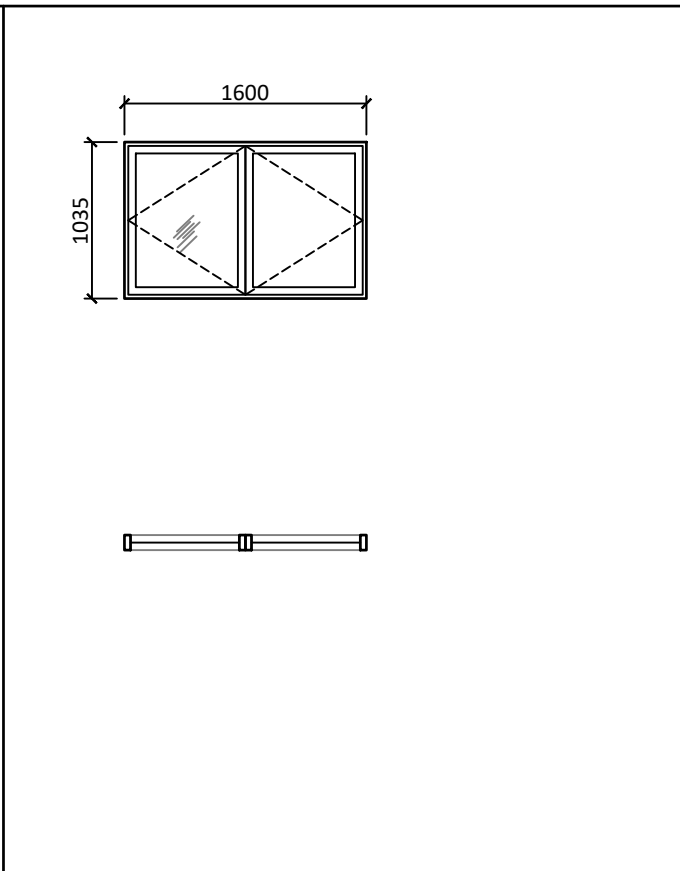
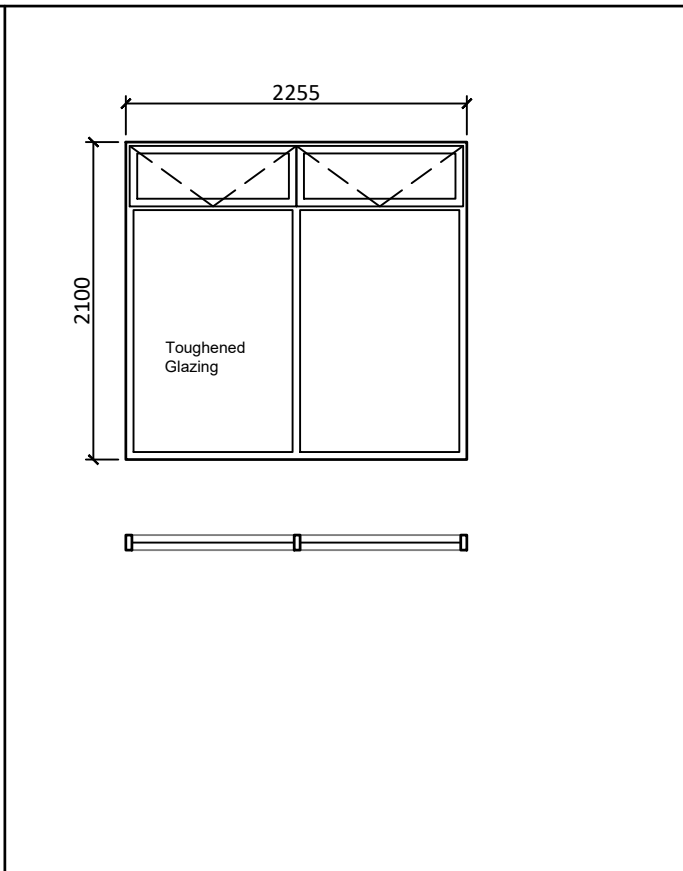
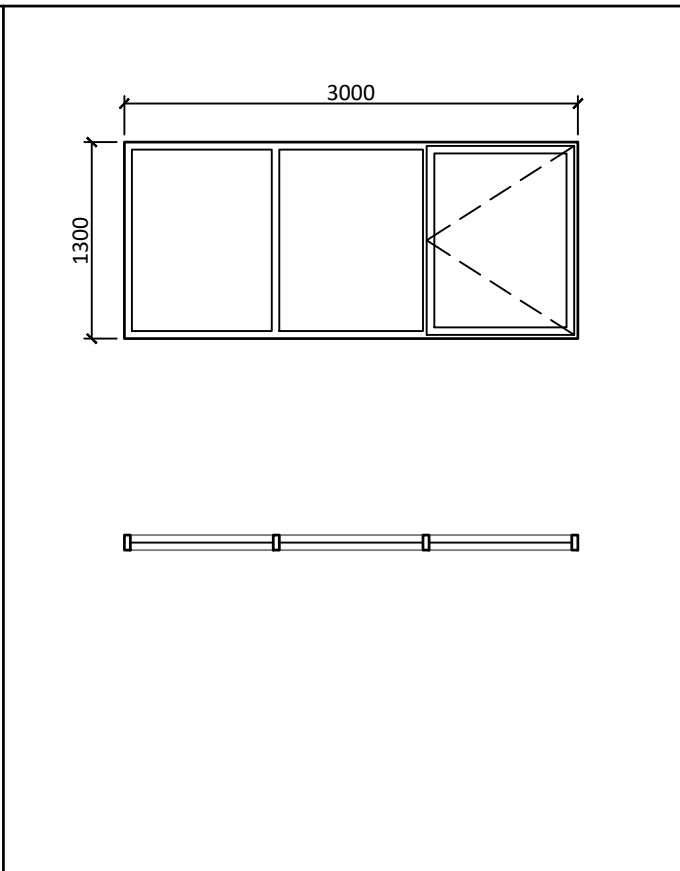
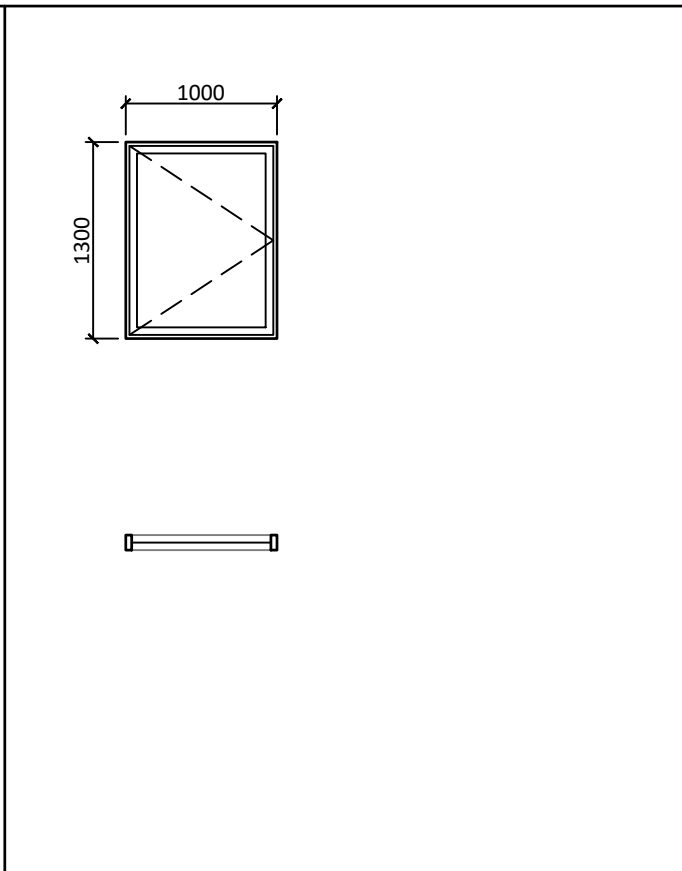
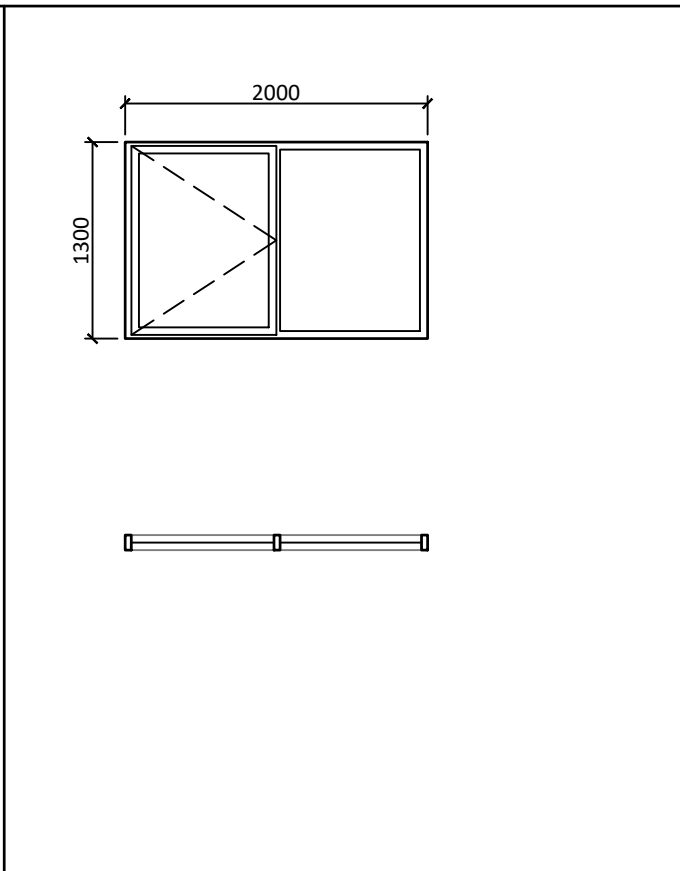
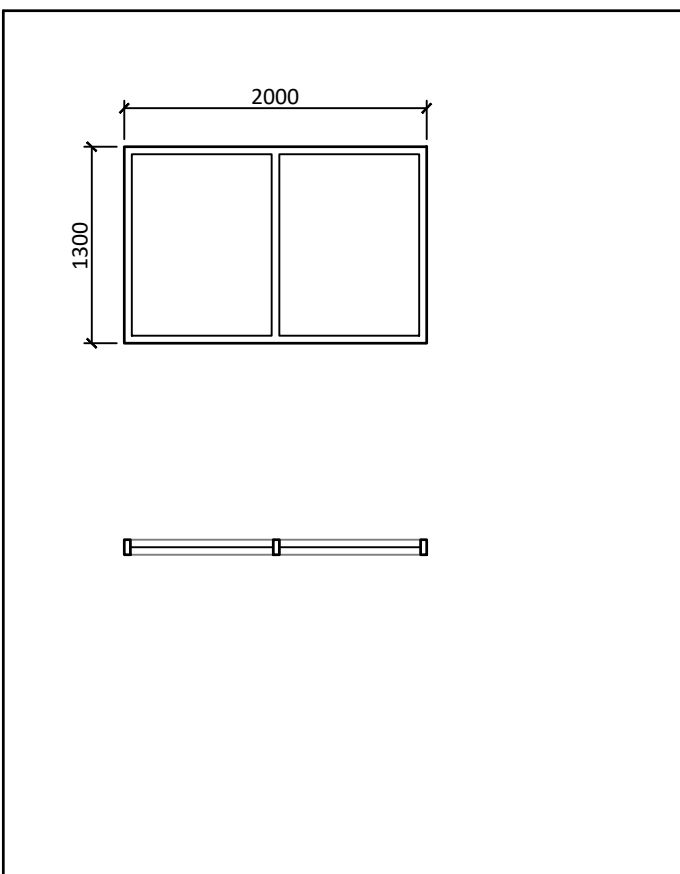
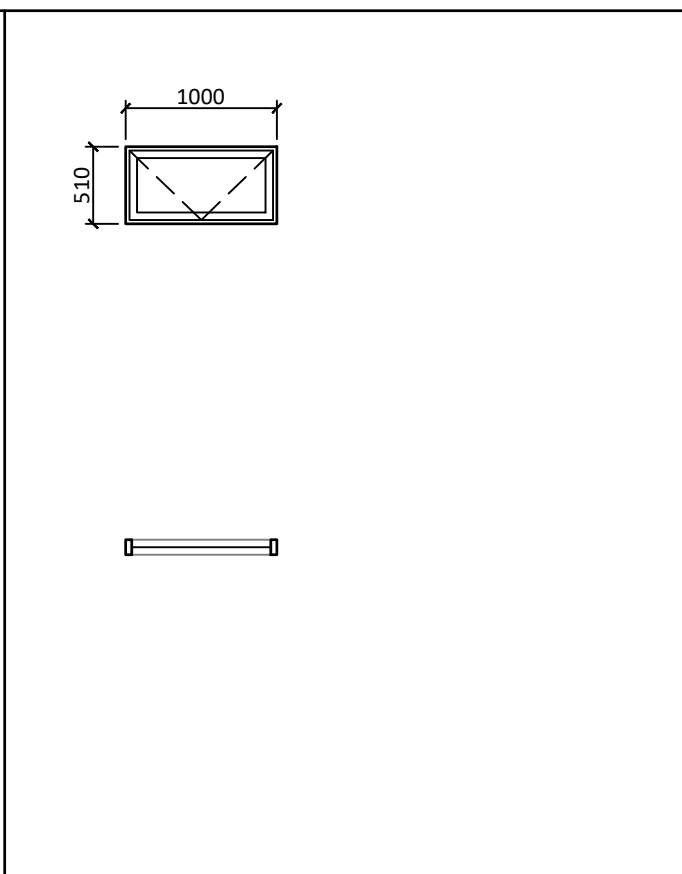
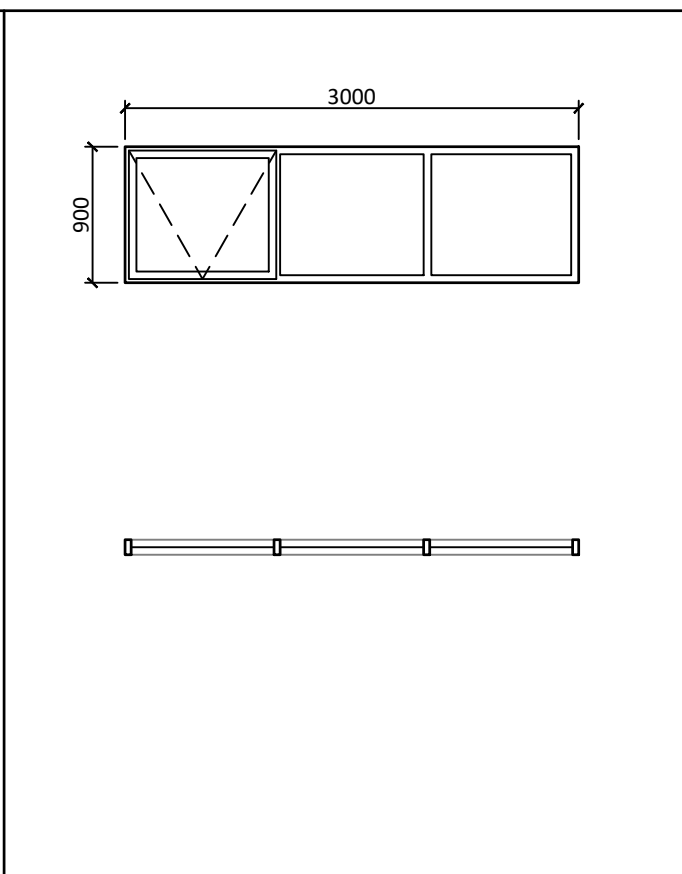
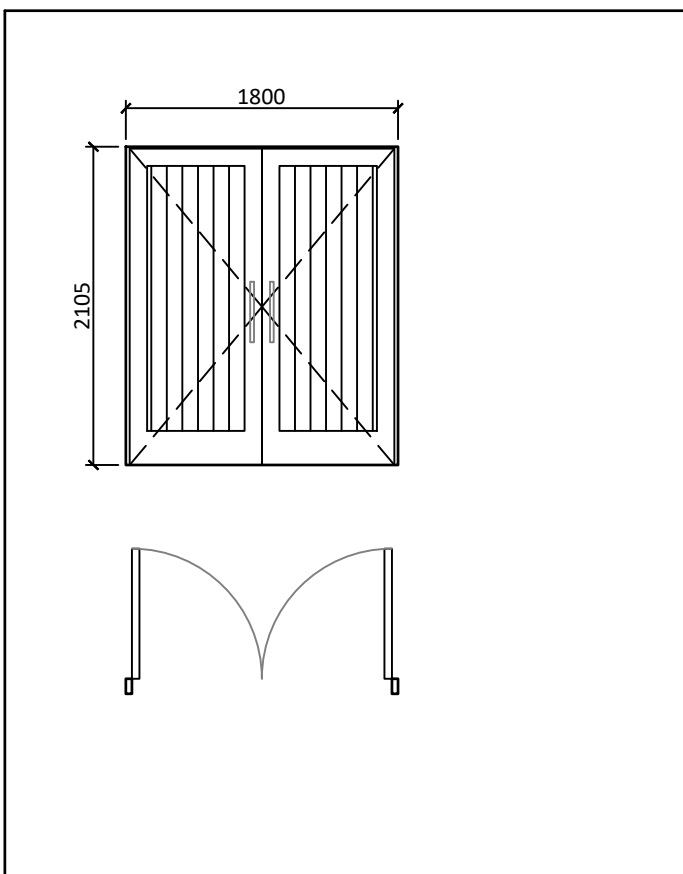
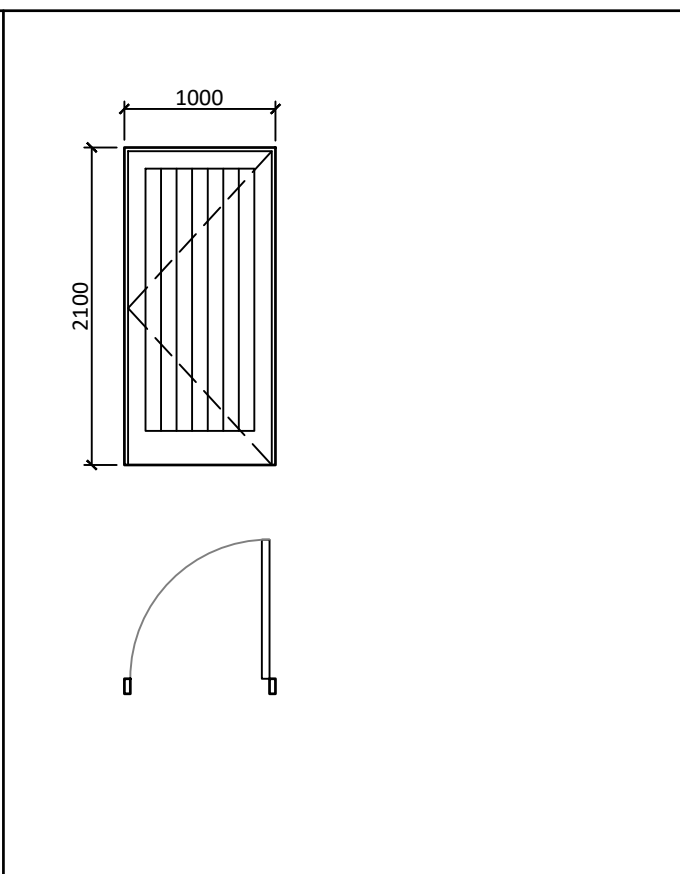
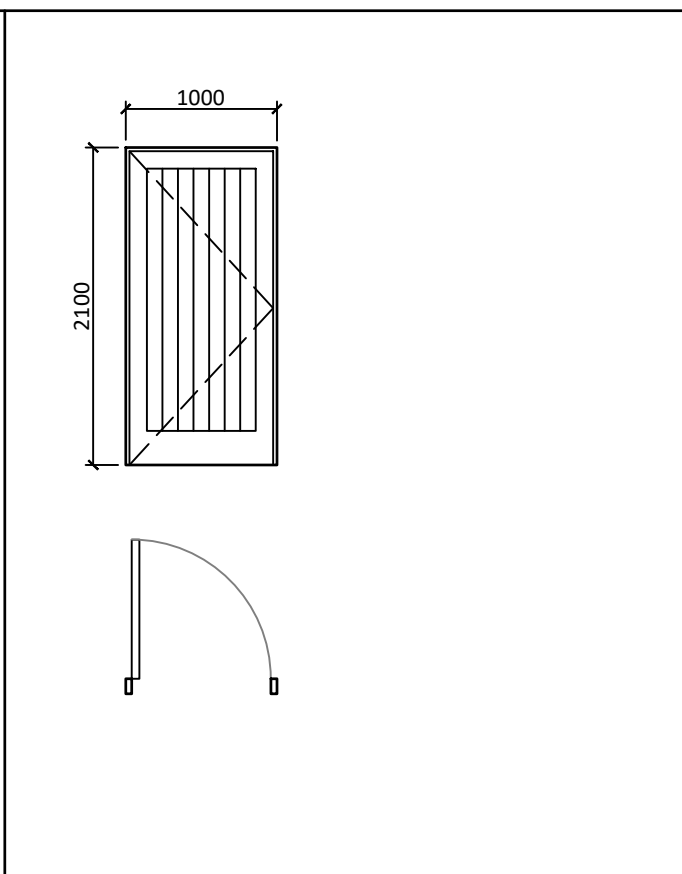
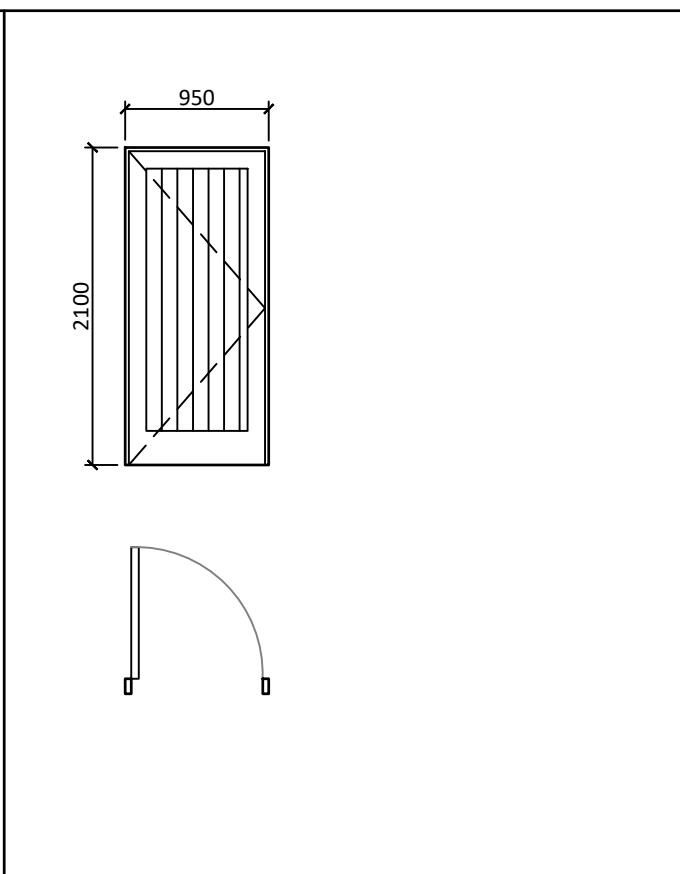
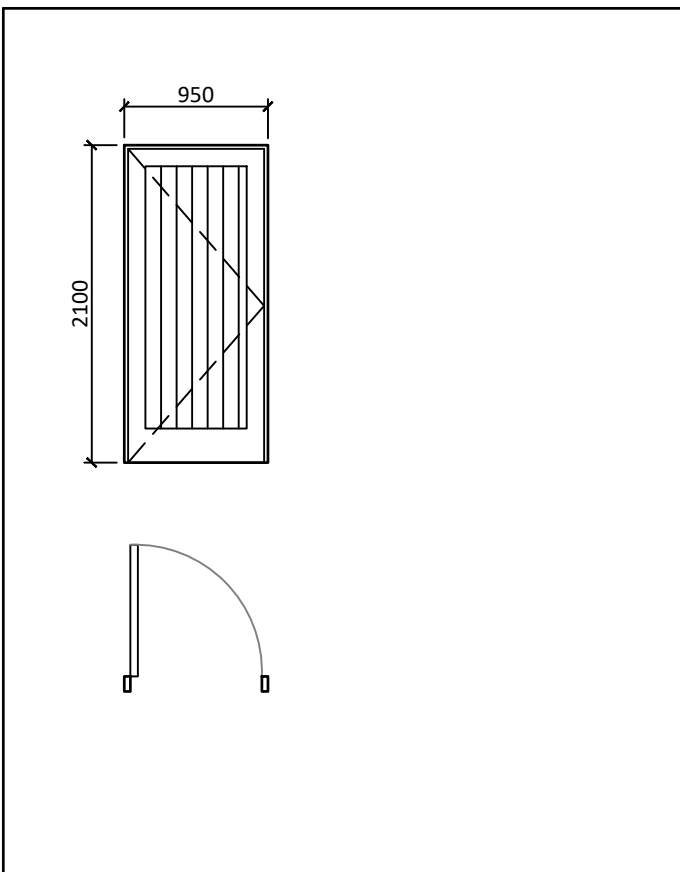
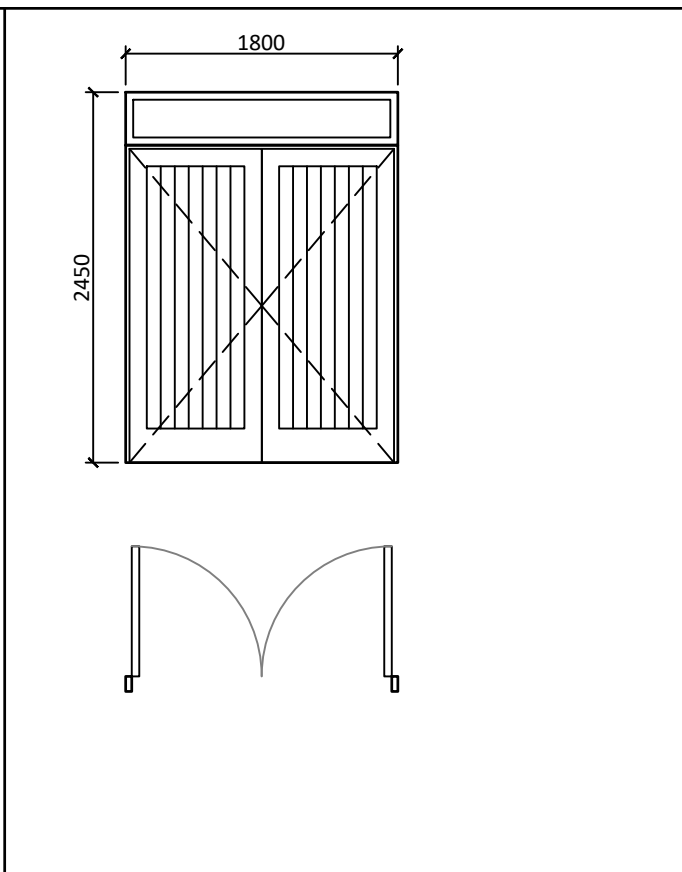
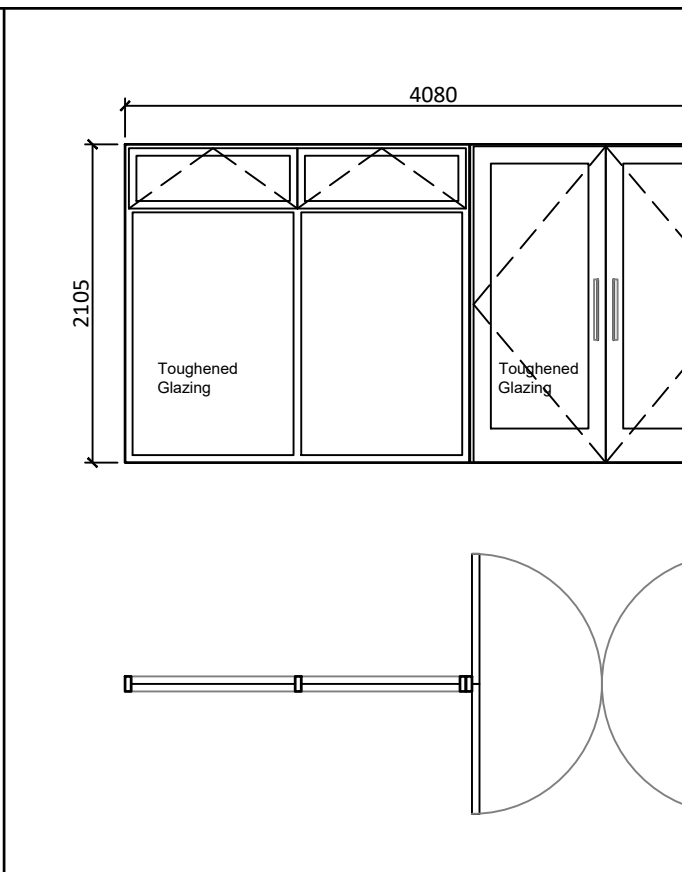
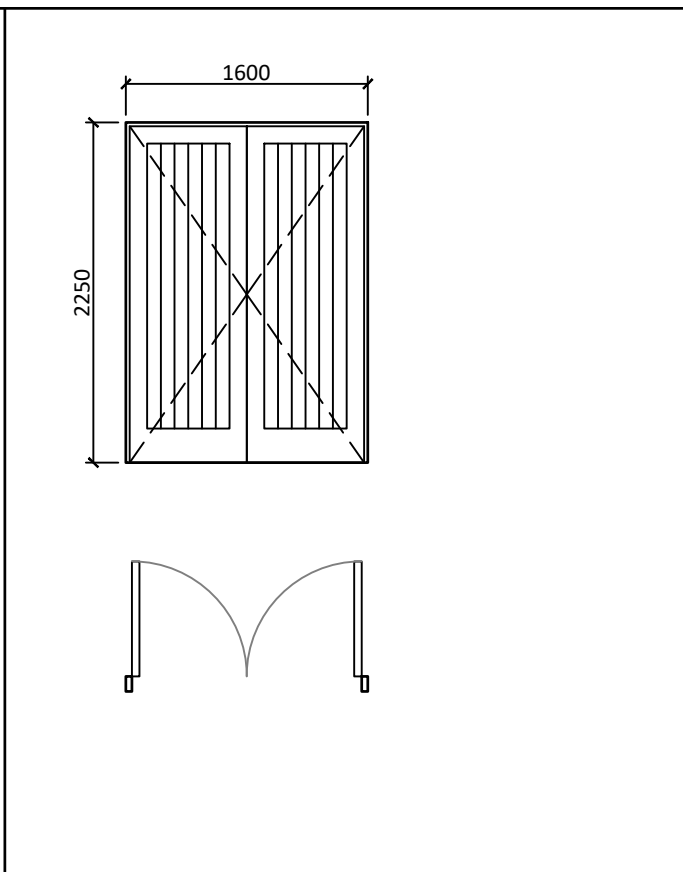
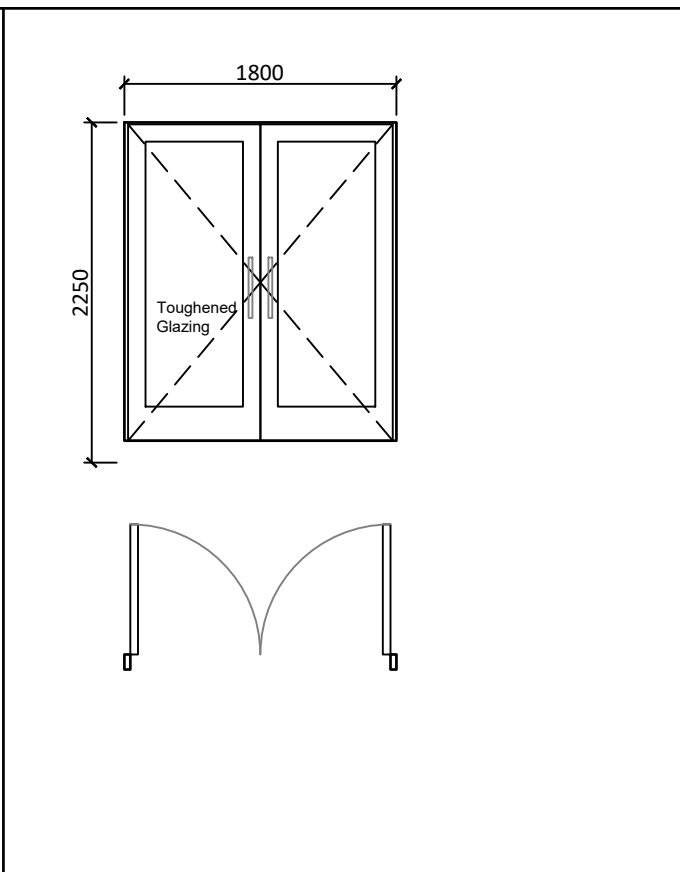
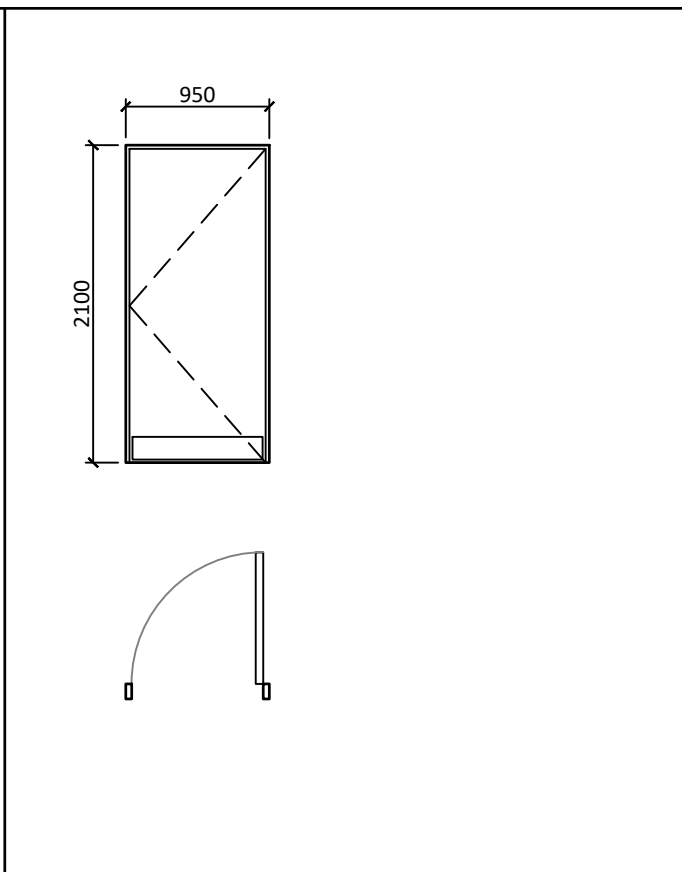
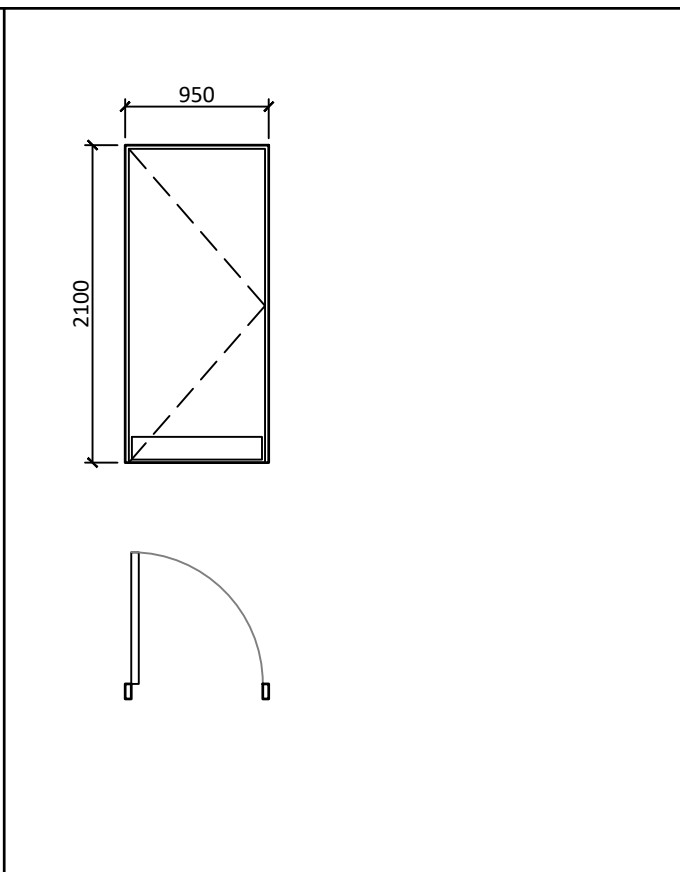
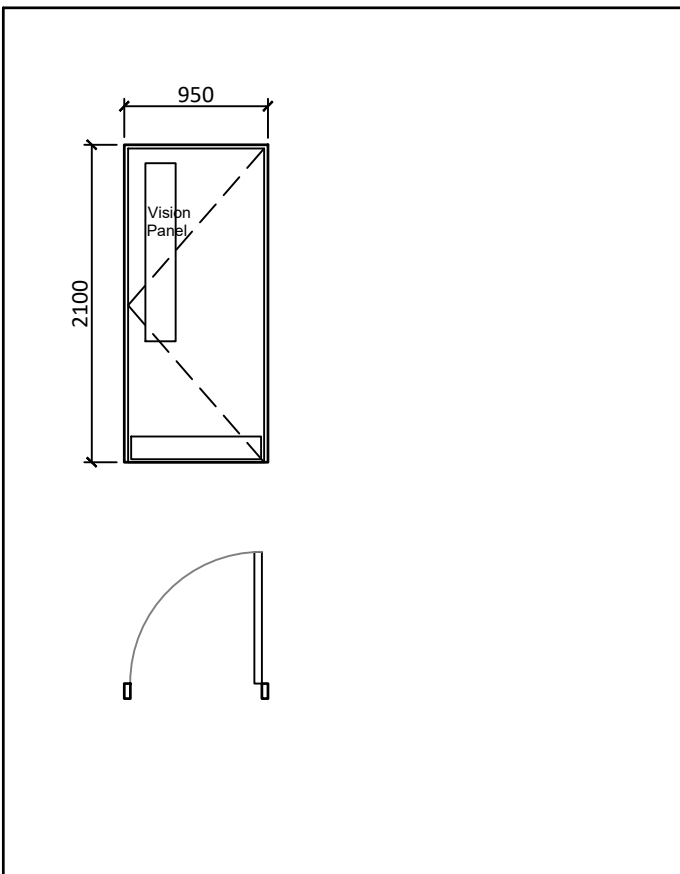
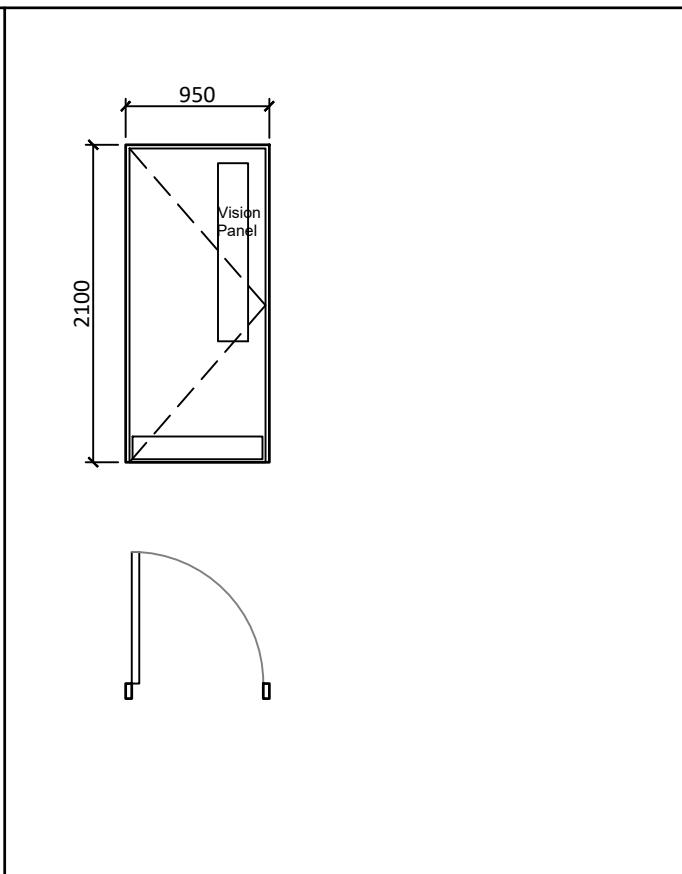
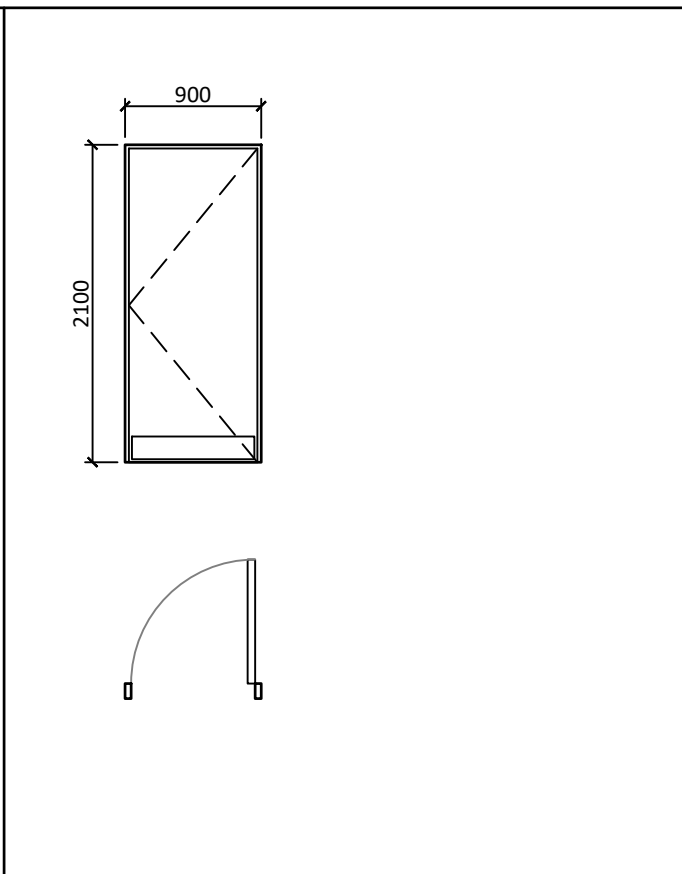
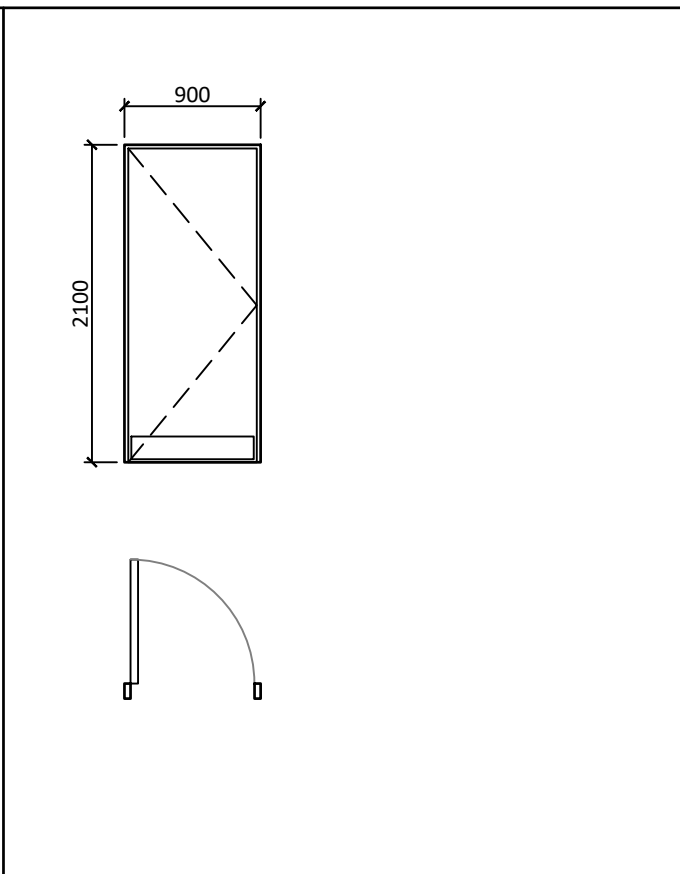
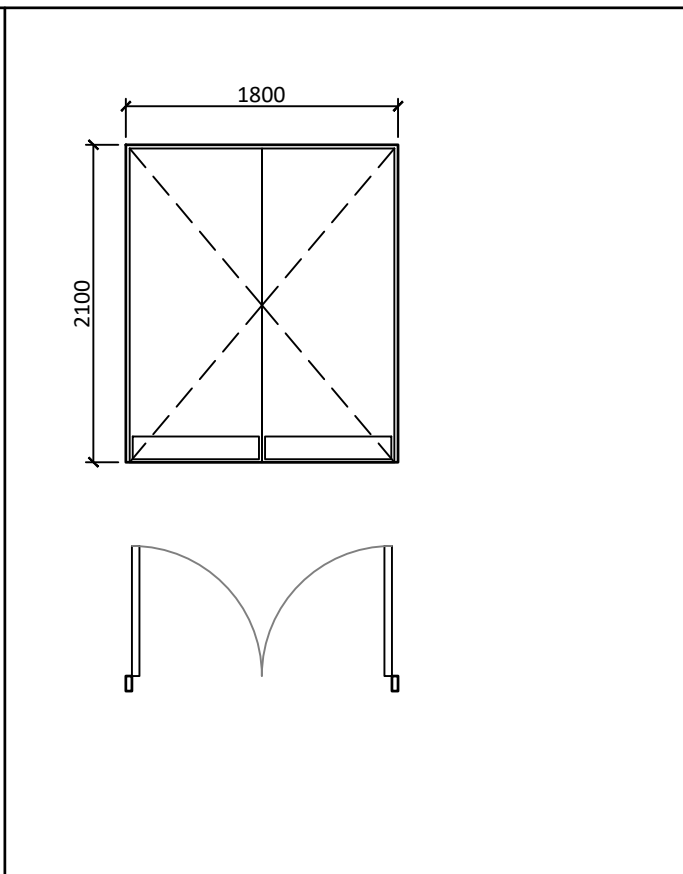
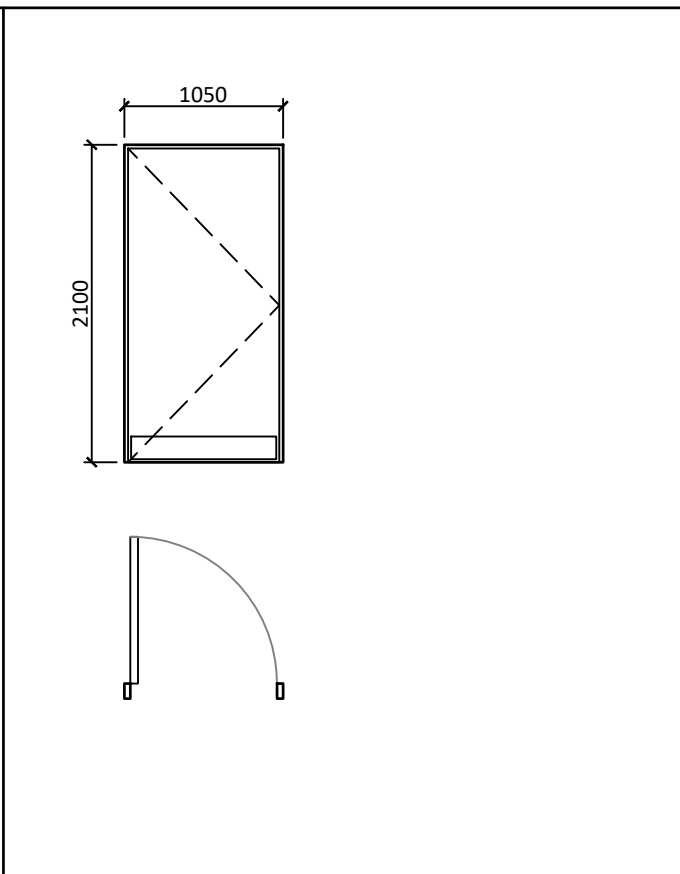
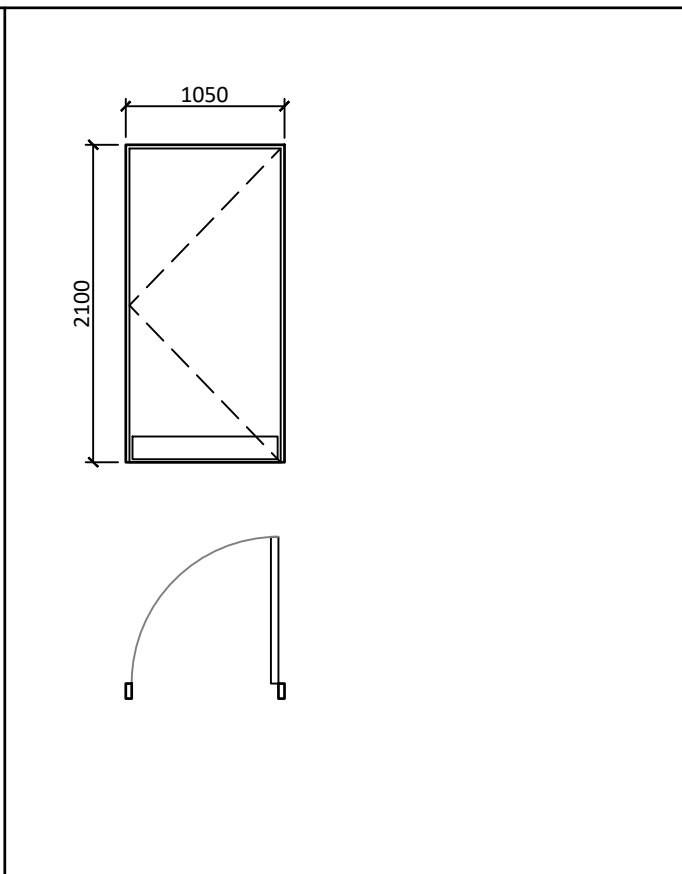
drawn by David Casey

cad ref no

planning ref no

fire ref no

drawing no. 22050-505

							
WG-01; WG-05; WG-07; WG-09 (clear glazing); WG-13	WG-02; WG-03; WG-11; WG-13	WG-07; WG-08	WG-09	WG-10	W1-01; W1-02; W1-09	W1-03	W1-04; W1-06
							
W1-05	W1-07; W1-08	W1-10; W1-11; W1-12; W1-13; W1-14		DG-01	DG-02; DG-08; DG-09	DG-03	DG-04
							
DG-04	DG-05	DG-06		DG-07	D1-01	DG-09; DG-10; DG-11; DG-13; DG-14; DG-17; DG-19; DG-28; D1-03; D1-04	DG-20; DG-25; D1-05; D1-06
							
DG-12; D1-04	DG-16; DG-18	DG-15; D1-07	DG-21	DG-23; DG-24; D1-08	DG-26	DG-27	

GENERAL NOTES.

The Developer/Contractor/Builder is to ensure that the building under construction/alteration is to comply where applicable with the 2010 Building Regulations in respect of all trades involved in the construction of this development.

The Developer/Contractor/Builder should notify BCA of any intended deviations from these plans prior to commencement of development.

All Site Development works to be carried out in accordance with "Recommendations for Site Development Works for Housing Areas" Dept. of Environment.

Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be scaled. This drawing is for the purpose of planning only. Dimensions to blockwork only.

Revision

Date	Rev.
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Client:
James Cafferty on Behalf of Carragh GFC

Job:
Renovation & Extension to Clubhouse

Location :
St. Farnan's Park, Prosperous

Drawing Title:
Window and Door Schedule

-

oca

brian connolly associates

CONSULTING ENGINEERS

BSc Eng. MSc, DIC, C.Eng, MIEI

The Studio, "Wood's Way", Clane, Co. Kildare. t. 045 892211

e: bcassoc@eircom.net

TENDER ISSUE

job no	22050
date	11-06-2025
scale	1:50 @ A1
drawn by	David Casey
cad ref no	
planning ref no	-
fire ref no	-
drawing no.	22050-506